



Fort DuPont Guidelines and Standards
November 1, 2019

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1. INTRODUCTION

FORT DUPONT DESIGN GUIDELINES AND STANDARDS

1. INTRODUCTION

Distinguished by its extraordinary waterfront location, Fort DuPont is part of Delaware City's 19th and early 20th-century townscape and consists of a riverside trail network, parkland, recreational amenities, historic buildings and soon to be developed Marina Village.

Fort DuPont occupies a strategic location within the state and region. Route 9 at Delaware City is the northern gateway to the Delaware Bayshore, a region of national ecological significance. The fort itself is rich in history and surrounded by ecological resources. The 14-mile Castle Trail along the C&D Canal begins at Fort DuPont's doorstep, offering a recreational connection across Delmarva to St. Georges and Chesapeake City, Maryland.

Listed on the National Register of Historic Places in 1999, Fort DuPont is considered significant for its association with federal coastal defense policy and military history and as a planned coastal fortification and military post of the late nineteenth and early twentieth centuries.

Created under State enabling legislation, the Fort DuPont Redevelopment and Preservation Corporation (the "Corporation") is spearheading rehabilitation, redevelopment, and preservation of the Fort DuPont complex. The Corporation, along with state agencies and community stakeholders, has established that Fort DuPont should be planned, designed, and redeveloped in a manner consistent with best practices in planning, development and preservation of Fort DuPont's National Register status. Individual new construction and rehabilitation projects at Fort DuPont should contribute to the larger Fort DuPont vision and master plan, while at the same time preserving its historic character.

These Design Guidelines will be used as a framework to insure that both site development and new construction respect the site's history, reflect architectural elements where appropriate and maintain Fort DuPont's historic designation.

2. PURPOSE OF THE GUIDELINES

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The design guidelines for Fort DuPont outline how public and private initiatives will implement the vision of the Fort DuPont Master Plan. Through the rehabilitation and reuse of historic buildings, strengthening of historic landscape character, and definition of appropriate new development opportunities, the vibrant mixed-use community envisioned in the master plan will reinforce Delaware City as a regional destination.

Along with the Fort DuPont Master Plan, the guidelines are an important reference in the design review process. They are a tool for determining the appropriate location and characteristics of future reuse and new construction projects, and for ensuring that redevelopment occurs in a manner that is consistent with the overall vision for Fort DuPont and the Secretary of the Interior's Standards for the Treatment of Historic Properties.

The design guidelines provide information and guidance to developers for crafting their development proposals in accordance with the intent of the master plan. They also inform the decision-making of the Corporation in its selection of development proposals and in its oversight, approval, and management of project design and implementation.

Every project to be undertaken will be subject to a review and approval process established by the Corporation.

The design guidelines in this document provide guidance to architects and planners developing projects for existing historic buildings and new construction located within the Fort DuPont Historic District. Whether the proposed project is a rehabilitation of a historic building or a new free standing building, it must be compatible with Fort DuPont's historic character and respect the character defining features of the Fort. The treatment strategy that is most appropriate for the Fort is "rehabilitation" as defined by The Secretary of the Interior's Standards for the Treatment of Historic Properties (NPS 1995). Rehabilitation allows for contemporary new uses for historic buildings and for adding new buildings and features to a historic district provided the character-defining features of a resource is not adversely affected.

The Fort DuPont Redevelopment and Preservation Corporation reserves the right to amend these guidelines should changes be required to maintain the property's historical integrity.

3. TREATMENT OF HISTORIC RESOURCES

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The rehabilitation and reuse of historic building and landscape resources as stipulated in the enabling legislation for the redevelopment of Fort DuPont requires their recognition and appropriate treatment. Over the past fifty years, designers and historic preservation professionals have developed a set of principles and best practices that have proven useful in the appropriate treatment of historic resources and that have been refined and improved over time. This section outlines those principles and best practices for application as an integral part of the design and redevelopment process at Fort DuPont.

Generally speaking, the appropriate treatment of historic resources involves the identification and preservation of character-defining features and authentic historic fabric. A project is generally considered successful when the significance and integrity of a resource is preserved.

3.A. Significance

Significance relates to the history of a building or landscape, why it is important and worthy of appreciation. In historic preservation, resources are evaluated for historic significance according to established professional criteria developed in association with listing on the National Register of Historic Places. Those criteria state that:

The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:

A - That are associated with events that have made a significant contribution to the broad patterns of our history; or

B - That are associated with the lives of persons significant in our past; or

C - That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or

D - That have yielded or may be likely to yield information important in prehistory or history.

Fort DuPont includes historic building and landscape resources that are **significant** with respect to criteria A for their association with federal coastal defense policy and military history and criteria C as a planned coastal fortification and military base of the late nineteenth and early twentieth centuries.

3. TREATMENT OF HISTORIC RESOURCES

3.B Integrity

Integrity is the ability of a historic property to convey its significance. The National Register of Historic Places describes integrity as the authenticity of a resource's historic identity, evidenced by the survival of physical characteristics that existed during the property's period of significance.

Integrity measures the degree to which the historically significant materials, features, and characteristics of a resource still exist and is assessed through seven aspects defined by the National Register:

1. **Location** is the place where the historic property was constructed or the place where the historic event occurred;
2. **Setting** is the physical environment within and surrounding a property;
3. **Design** is the combination of elements that create the form, plan, space, structure, and style of a property;
4. **Materials** are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property;
5. **Workmanship** is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory;
6. **Feeling** is a property's expression of the aesthetic or historic sense of a particular period of time; and
7. **Association** is the direct link between an important historic event or person and a historic property.

In order to retain historic integrity, a property must possess many of these seven aspects.

Integrity is assessed by identifying the character-defining features of a historic property and determining whether enough of these features remain and are visible to convey the determined significance. Character-defining features are prominent or distinctive aspects, qualities, or characteristics of a historic property that contribute to physical character. Character-defining features also encompass those things that make a property special and eligible for listing in the National Register of Historic Places. Preserving character-defining features helps to protect historic integrity.

Integrity is often closely related to the degree to which a resource's historic fabric remains intact. Historic building fabric includes features (such as entrances, walls, windows, stairways, or trim), and materials (such as stone, metal, wood, or plaster). Historic features and materials are also present in the historic landscape, and include the characteristics outlined in the brief discussion of cultural landscapes below. Authentic building and landscape features and historic fabric that survive help make the historic significance of a resource visible.

Historic significance accrues to a building or landscape over time, and changes that have occurred to a resource are sometimes considered to be historically significant. The growth and development of Fort DuPont over a hundred years of changing missions and uses and through the addition of new buildings and landscape features is an example of such accrued significance. This growth and change is part of the evolution of Fort DuPont and contributes to its story and significance. Resources associated with its growth and change also, therefore, contribute to the fort's integrity.

3. TREATMENT OF HISTORIC RESOURCES

3.C Cultural Landscape

A cultural landscape is a geographic area including both natural and cultural resources associated with a historic event or activity, or exhibiting other cultural or aesthetic values. There are four general types of cultural landscapes, not mutually exclusive: historic sites, historic designed landscapes, historic vernacular landscapes, and ethnographic landscapes.

Over the past thirty or forty years, historic preservation has taken an increasingly broader perspective in moving away from a concentration upon historic buildings as isolated objects toward a more holistic appreciation of buildings and related historic resources in their landscape context. The recognition of Fort DuPont as a National Register historic district is part of that broader perspective. Fort DuPont is both a historic site and a historic designed landscape.

As a military fortification, Fort DuPont is a particularly distinct cultural landscape, using location and landscape characteristics to defend the Delaware River. The base constructed behind the fortifications is a designed landscape laid out in accordance with both military regulations and the natural constraints and characteristics of the site.

The National Park Service has led the recognition and study of cultural landscapes in the United States and has developed methodologies and guidelines for their identification, assessment, and treatment. These methodologies and guidelines are useful in understanding and developing appropriate treatments for Fort DuPont's cultural landscape, providing a set of best practices that help designers recognize and preserve aspects and elements of the landscape significant to each of the property's historic character areas.

In general, identification and analysis of a cultural landscape's characteristics and features include its:

- Spatial organization and land patterns,
- Views and vistas,
- Topography,
- Natural systems and features, • Water features,
- Vegetation,
- Circulation,
- Buildings and structures,
- Small-scale features, and
- Other special considerations.

Landscape features should be assessed as they relate to each character area as well as to the property as a whole. Characteristics and features that contribute to the landscape's character and significance should be identified, protected, and preserved whenever possible. New design features should be designed in a manner that is compatible with existing features. Non-significant features that detract from or have altered the historic landscape may be removed.

3. TREATMENT OF HISTORIC RESOURCES

3.D Historic Preservation Treatments

Historic preservation practice distinguishes between four different types of treatments: preservation, rehabilitation, restoration, and reconstruction. Each type of treatment is appropriate to a different set of goals and conditions. Preservation treatment involves retention of the greatest amount of historic fabric, features, and materials. Rehabilitation treatment acknowledges the need to alter or add to a property to meet continuing or new uses while retaining historic character. Restoration treatment allows for an accurate depiction of the property's appearance at a particular time in its history. Reconstruction treatment establishes a framework for recreating vanished historic elements based on documentation.

These four preservation treatments may be considered with regard to their application to historic buildings and heritage landscapes at Fort DuPont and are more fully described below.

Preservation

Preservation is defined as the process of applying measures necessary to sustain the existing form, integrity, and materials of a historic property. Work, including preliminary measures to protect and stabilize features, generally focuses on the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. New exterior additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project. Preservation should be the baseline treatment for buildings and landscapes that are too significant and important to change.

Preservation treatment is usually reserved for buildings and landscapes of high integrity and great significance. At Fort DuPont, the fortifications, Chapel, Guard House, and Radio/Guard Tower are examples of buildings and structures that should be considered for preservation treatment.

Rehabilitation

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values. Often referred to as adaptive reuse, any new, expanded, or upgraded facilities should be designed to avoid impacts to character-defining historic elements. They should also be constructed of compatible materials. Retention of original historic fabric should be the primary consideration in undertaking a program of rehabilitation and adaptive reuse.

Rehabilitation accommodates needed change and allows for the kind of redevelopment envisioned for Fort DuPont in the Master Plan. Rehabilitation treatment is therefore the most practical and appropriate approach to preserving the integrity of historic buildings and landscapes at Fort DuPont.

Restoration

Restoration refers to returning a resource to its appearance at a specific previous period of its history. Restoration is defined as the act or process of accurately depicting the form, features,

3. TREATMENT OF HISTORIC RESOURCES

and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. In this context, historic plans, documents, and photographs should be used to guide the work. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project.

Restoration is not a treatment that will be used widely in the redevelopment of Fort DuPont. In part, this is because changes to the base over time have been significant to its history, and there is no particular period to which to restore the fort as a whole. Also, so many resources have been lost that restoration would not be possible even if it were desirable.

Limited restoration, however, is recommended for specific building and landscape resources. For example, where historic building features have been removed, and adaptive reuse would benefit from their restoration, such as the historic porch on the Administration Building, Building 15, restoration is recommended. Similarly, new landscaping anticipated in redevelopment might restore historic landscape features, such as replacing historic street trees along Sussex Avenue. Restoration might be considered for portions of the fortifications for educational and interpretive purposes.

Reconstruction

Reconstruction is defined as the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location. A reconstruction is a new resource made to replace a historic resource that has been lost.

A reconstruction treatment is most frequently used for educational and interpretive purposes, recreating a lost resource or feature to facilitate interpretation and understanding for students or visitors. Like restoration, reconstruction is not anticipated to be widely used as a treatment at Fort DuPont, though it might be applied in a limited fashion for the fortifications or in other areas for interpretation.

3.E Best Practices—The Secretary of the Interior’s Standards

Best practices in the stewardship of historic buildings and landscapes are compiled in The Secretary of the Interior’s Standards for the Treatment of Historic Properties (NPS 2014). Developed and honed by historic preservation professionals through decades of practical experience, the Standards are a touchstone for activities affecting historic buildings and landscapes and help ensure that important issues about the care of historic buildings and landscapes are not forgotten in the process of making decisions about other issues.

Historic preservation is a practical discipline that can accommodate growth and change while continuing to preserve the characteristics that make a place special. This is the goal in the redevelopment of Fort DuPont. The principles that have been developed in the field of historic preservation emphasize the importance of preserving historical integrity by preserving authentic historic fabric to the maximum extent possible.

3. TREATMENT OF HISTORIC RESOURCES

Building and landscape uses come and go, but once lost, original historic fabric can never be reclaimed. The preservation and maintenance of original historic fabric, features, materials, and design elements, therefore, is central to a sound preservation approach. An underlying objective of these design guidelines is to encourage and promote the preservation and maintenance of historic building and landscape fabric in as many ways as possible.

The Secretary of the Interior's Standards inform good decision-making. The Standards are a set of principles that are applied thoughtfully to situations on a case-by-case basis. They should be used by the Design and Historic Preservation Review Committee, Advisory Council, and Board of Directors as the basis for decision-making in the review of every rehabilitation and new construction project at Fort DuPont.

The durability of the Standards is testimony not only to their soundness, but also to the flexibility of their language. They provide a philosophy and approach to problem solving for those involved in managing the treatment of historic buildings and landscapes. They are not rules and are not a set of solutions to specific design issues. Following a balanced, reasonable, and disciplined process is often more important than the exact nature of the treatment option that is chosen. The Standards help ensure that the critical issues are considered.

The Secretary of the Interior's Standards for the Treatment of Historic Properties provides an individual set of standards for each of the four commonly identified historic preservation treatments discussed above: preservation, rehabilitation, restoration, and reconstruction. As discussed, rehabilitation is the most appropriate preservation treatment where extensive changes are anticipated to meet changing programmatic needs, such as in the redevelopment of Fort DuPont. The Secretary of the Interior's Standards for Rehabilitation have therefore been used in these design guidelines as the basis for the overall recommended treatment for Fort DuPont's historic buildings and landscapes.

The Secretary of the Interior's Standards for Rehabilitation are particularly useful in consideration of the appropriate maintenance of historic buildings; the alteration of older buildings as necessary for reuse, safety, and accessibility; and the construction of new buildings in a historic context. The ten standards that comprise the Standards for Rehabilitation are quoted below followed by a brief discussion of the implications of each. Additional discussion of the Standards for Rehabilitation may be found online (NPS 2014).

STANDARD 1– *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

Standard 1 recommends compatible use in the context of adaptive reuse and changes to historic buildings and landscapes. This standard encourages managers to find uses that retain and enhance historic character, not detract from it. The work involved in reuse projects should be carefully planned to minimize impacts on historic features, materials, and spaces. The **destruction** of character- defining features should be avoided.

STANDARD 2 –*The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

3. TREATMENT OF HISTORIC RESOURCES

Standard 2 recommends the retention and preservation of character-defining features. It emphasizes the importance of preserving integrity and as much existing historic fabric as possible. Alterations that repair or modify existing historic fabric are preferable to those that require total removal.

STANDARD 3 – Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Standard 3 focuses on authenticity and discourages the conjectural restoration of an entire property, feature, or design. It also discourages combining and/or grafting historic features and elements from different properties, and constructing new buildings that appear to be historic. Literal restoration to a historic appearance should only be undertaken when detailed documentation is available and when the significance of the resource warrants restoration. Reconstruction of lost features should not be attempted without adequate documentation.

STANDARD 4 – Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Standard 4 recognizes that buildings and landscapes change and that many of these changes contribute to their historical significance. Understanding a building or landscape's history and development is just as important as understanding its original design, appearance, and function. This point should be kept in mind when considering treatments for buildings or landscapes that have undergone many changes.

Most historic buildings and landscapes contain a visual record of their own evolution. This evolution can be identified, and changes that are significant to the history of the building or landscape should be retained. The opportunity to compare multiple periods of time in the same building or landscape lends interest to the resource and helps communicate changes that have occurred within the larger landscape and community context.

STANDARD 5 – Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Standard 5 recommends preserving the distinctive historic components of a building or landscape that represent its historic character. Workmanship, materials, methods of construction, floor plans, site plans, circulation patterns, vegetation, and both ornate and typical details should be identified prior to undertaking work.

STANDARD 6 – Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard 6 encourages managers to repair historic character-defining features instead of replacing them when historic features are deteriorated or missing. In cases where deterioration makes replacement necessary, new features should closely match historic conditions in all respects. Before any features are altered or removed, managers are urged to document existing

3. TREATMENT OF HISTORIC RESOURCES

conditions with photography and notes. These records assist future choices that are appropriate to the property's historic character.

STANDARD 7 – Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Standard 7 warns against using chemical and physical treatments that can permanently damage historic features. Many commercially available treatments are irreversibly damaging. Sandblasting and harsh chemical cleaning, in particular, are extremely harmful to wood and masonry surfaces because they destroy the material's basic physical properties and speed deterioration.

STANDARD 8 – Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken. Standard 8 addresses the importance of below-ground prehistoric and historic features. This issue is of most importance when a construction project involves excavation. An assessment of a site's archeological potential prior to work is recommended. If archeological resources are present, some type of mitigation should be considered. Solutions should be developed that minimize the need for excavation of previously unexcavated sites.

STANDARD 9 – New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STANDARD 10 – New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Standards 9 and 10 are linked by issues of the compatibility and reversibility of additions, alterations, and new construction. Both standards are intended to 1) minimize the damage to historic fabric caused by building additions, and 2) ensure that new work will be different from, but compatible with, existing historic conditions. This standard is relevant to proposed new construction at Fort DuPont as well as to the treatment of historic resources. Following these standards will help to protect a building's or landscape's historic integrity.

The basis for the Standards is the premise that historic resources are more than objects of aesthetic merit; they are repositories of historical information. It is important to reiterate that the Standards provide a framework for evaluating redevelopment, rehabilitation, historic preservation activities and emphasize preservation of historic fabric, honesty of historical expression, and reversibility.

The Secretary of the Interior's Standards should be used as the basis for design and decision-making for all proposed projects at Fort DuPont. All decisions should be made on a case-by-case basis, project by project. The level of craftsmanship, detailing, and quality of materials should be appropriate to the significance of the resource.

3. TREATMENT OF HISTORIC RESOURCES

The following sections provide guidelines for application of the Standards to building and landscape resources in the historic character areas identified at Fort DuPont.

4. GENERAL GUIDELINES FOR FORT DUPONT

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The following guidelines for the treatment of historic building and landscape resources relate to the landscape as a whole.

1. Protect and maintain the historic architectural and landscape character of Fort DuPont.
2. Avoid removing historic buildings, structures, or landscape features unless beyond repair and pose a serious safety risk.
3. Incorporate historic resources appropriately into redevelopment plans.
4. Avoid moving historic buildings, structures, or landscape resources. Moving historic resources destroys their association with their original setting and significantly diminishes historic integrity, both for the resource and for the landscape as a whole.
5. Undertake landscape planning and design work in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes.
6. Retain a historic architect, historic landscape architect, and/or historic preservation specialist in planning and design projects to confirm the historical significance of existing historic resources, condition of historic fabric, and impact of alternative uses, additions, and changes on historic fabric.
7. Document all changes to historically significant features through drawings and photographs and provide the documentation to the Fort DuPont Redevelopment and Preservation Corporation for archiving.
8. Identify the character-defining features of historic buildings and landscapes in order to protect them and to assist in introducing new design features that are appropriate to their character.
9. Design new building and landscape features to visually relate to the historic context in which they are located.
10. Locate new buildings and design features in such a way that, if removed in the future, the essential form and integrity of the landscape would remain unimpaired.
11. Design new building and landscape features to complement the materials, size, scale, proportion, massing, and design vocabulary of existing features in the surrounding historic area.
12. Materials should be of a complementary color, size, texture, scale, and level of craftsmanship. Avoid the use of materials that are visually incompatible with surrounding historic buildings and landscape.
13. Differentiate new work from existing historic resources. Replications of historic elements should be avoided in new construction because false historicism diminishes the integrity of the existing historic buildings and confuses the distinction between old and new.
14. Maintain historic spatial patterns and the relationships between historic buildings and historic landscape features. If a feature must be removed, consider replacing it with a new feature that helps maintain historic spatial patterns.
15. Retain historic road and pedestrian circulation features as outlined elsewhere in these guidelines; they are fundamental to the layout, character, and use of the historic military base. Minimize the removal of historic roads. Where roads will no longer be used for vehicular circulation, consider adapting them for pedestrian use. Add new roads and walkways in a manner that complements the historic circulation network.
16. Avoid obscuring significant views. Avoid obscuring historic relationships between and views of historic buildings.

4. GENERAL GUIDELINES FOR FORT DUPONT

17. Identify the potential for archeological significance and resources for each project under consideration. Avoid impacts to potential archeological sites by undertaking preliminary investigations and by limiting areas of disturbance.
18. Identify and document the locations of historic plant material in areas where new projects are being undertaken. Determine and document the design intent associated with historic plantings. Utilize the information to preserve and maintain historic plantings in good condition. When replacement is necessary, install plant material that is consistent with the historic. If the historic plant is no longer available or not desirable, replace it with a species that is similar in terms of size, form, color, and habit.
19. Evaluate the health and vigor of significant historic trees and shrubs using an arborist and horticulturalist. Develop a plan for long-term treatment and maintenance. Undertake periodic and cyclical maintenance of all vegetation in order to prevent deterioration or loss of plant material. Maintenance practices should be tied specifically to the design intent of the historic landscape.
20. Remove dead trees and shrubs and those identified as potentially hazardous to individuals or resources because of their health or condition.
21. Develop and adhere to a planting master plan that contains a list of preferred plant species appropriate to the character of the historic landscape. Use plant materials in ways similar to historic plantings. Ensure that the design palette incorporates species appropriate to differing locations. For instance, avoid using large scale shrubs close to buildings and adjacent to walks that will require extensive pruning to maintain size.
22. Avoid installing vegetation that is known to be invasive species that is similar in terms of size, form, color, and habit.
23. Evaluate the health and vigor of significant historic trees and shrubs using an arborist and horticulturalist. Develop a plan for long-term treatment and maintenance.
24. Undertake periodic and cyclical maintenance of all vegetation in order to prevent deterioration or loss of plant material. Maintenance practices should be tied specifically to the design intent of the historic landscape.
25. Remove dead trees and shrubs and those identified as potentially hazardous to individuals or resources because of their health or condition.
26. Develop and adhere to a planting master plan that contains a list of preferred plant species appropriate to the character of the historic landscape. Use plant materials in ways similar to historic plantings. Ensure that the design palette incorporates species appropriate to differing locations. For instance, avoid using large scale shrubs close to buildings and adjacent to walks that will require extensive pruning to maintain size.
27. Avoid installing vegetation that is known to be invasive.

5. DESIGN GUIDELINES FOR SPATIAL ORGANIZATION AND LAND PATTERNS

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Ft. DuPont is planned around eight development districts within the fort property that include residential and mixed-use neighborhoods. A marina, cultural arts district and park frame the river front, creating a destination for recreation and entertainment. All uses are within a few minutes' walk of each other.

The residential districts are designed to include, and complement, the existing historic brick and frame buildings from the fort's past. Living at Fort DuPont can range from apartments or condominiums in the Marina District to rehabilitated historic homes or newly built housing, with single-family and duplex homes.

All redevelopment will respect and maintain the historic Parade Ground as open space.

5.A. Parade Ground

The Parade Ground was established at Fort DuPont in the early 1900s after additional lands were acquired for an expanded military base north and west of the fortifications. The "Parade" is identified in a 1913 plan following a seven-year period of expansion and intense development.

Fort DuPont is a designed military landscape, and the Parade Ground is its focal point. The fort is laid out in a modified version of a standard axial military plan with land uses hierarchically arrayed around the Parade Ground, which served as the functional and ceremonial center of the post.

A flag pole was installed at the eastern edge of the Parade Ground in 1906 which, along with the fort's community buildings, established its head. The primary entrance to the fort is at the northwest corner of the Parade, and Old Elm Avenue (formerly Elm Avenue) serves as an entrance road, originally leading to the post's headquarters (Building 015).

The Parade Ground reinforces the military hierarchy of the fort. The Commanding Officer's Residence (Building 024) is the only building on the Parade, physically recognizing his authority and command. Officer's quarters are located to the northeast. Enlisted men's quarters are located in barracks along the south side of the Parade. Administrative and community buildings are located at the head of the Parade along its east side. The post Hospital and Bachelor Officer Quarters were formerly located on the north side of the Parade Ground but have been demolished.

Except for the Commanding Officer's Residence, the Parade Ground has remained undeveloped throughout the fort's history, despite the construction of temporary buildings in most other locations. In addition to drilling, training, and ceremonial uses, the Parade Ground has served as a recreational space. A baseball diamond and football field are visible in photographs predating 1920.

5. DESIGN GUIDELINES FOR SPATIAL ORGANIZATION AND LAND PATTERNS

5.A(i) Character-defining Features

The Parade Ground defining features includes the Parade Ground, perimeter roads, and surrounding buildings. The area has a high degree of historical integrity. Its character-defining features include:

1. Large rectangular open space at the center of Fort DuPont with an east-west primary axis.
2. Turf lawn without trees except along some edges.
3. Vehicular perimeter roads along all four sides.
4. Pedestrian walks on the outer sides of perimeter roads, but no pedestrian walks on the inner sides except at the east.
5. Primary entrance to the base at the northwest corner.
6. Tree-lined entrance road along the northern side.
7. Flag pole and commemorative objects (cannons) as a focal point at the head (eastern end) of the of the rectangle.
8. Large administrative, residential, and community buildings along roads on the east, north, and south sides with primary entrances facing the Parade and connecting to perimeter sidewalks and roads.
9. Lawn areas of uniform width separating buildings from perimeter roads and sidewalks; grass areas include some trees and shrubs.
10. Lawn areas separating adjacent buildings.
11. Open, undeveloped west end.

5.A(ii) Parade Ground Guidelines for Historic Landscape

The Parade Ground landscape is in good overall condition, although turf areas are worn and tend not to drain well and perimeter trees are aging and many have been lost. A slightly raised diagonal grass corridor from the northwest corner to the barracks is a former dirt pathway across the Parade. The southwest corner is depicted as wet in historic maps.

The Parade Ground will continue to be the central organizing space in the redevelopment of Fort DuPont, and its appropriate treatment is of great importance. Treatment guidelines for historic preservation include:

1. Retain and maintain the character-defining landscape features listed above.
2. Maintain the open character of the Parade Ground.
3. Restore and maintain the turf lawn and underlying soils.
4. Evaluate the health of remaining canopy trees bordering the parade ground and undertake appropriate pruning, feeding, and care.
5. Plant young canopy trees of similar and appropriate species and character at locations where historic trees have been lost, in particular along the entrance road along the north and between the sidewalk and buildings on the south.

5. DESIGN GUIDELINES FOR SPATIAL ORGANIZATION AND LAND PATTERNS

6. Retain and restore or rebuild historic perimeter roads and pedestrian walks with adequate street parking; do not add new road or walks within the grass rectangle of the Parade Ground.
7. Retain and maintain the flag pole and commemorative features at the east end.
8. Do not introduce inappropriate plantings such as shrubs.

5.A(iii) Parade Ground Guidelines for Historic Buildings

The Parade Ground is bordered by existing historic buildings on three sides, the east, south, and north. The two earliest buildings, the Hospital and Bachelor Officer Quarters, located on the north side, are no longer existing. On the east, one of three existing community buildings (Building 031) was in ruined condition and removed. On the south are three brick former barracks, two of which are currently occupied. All of the remaining buildings should remain and be rehabilitated.

Historically, buildings here have been of large scale, oriented to the Parade Ground, and constructed of wood or brick. General guidelines for Parade Ground buildings include:

1. Preserve and rehabilitate the Theater (Building 046) and Chapel (Building 055) for use similar to their historic use.
2. Rehabilitate and adaptively reuse the three Barracks (Buildings 023, 052, and 053).
3. Rehabilitate and adaptively reuse the Post Exchange (Building 020), the interior of which has been gutted.
4. Should the Barracks, Building 052, be rehabilitated for a new use, remove the wood pavilion constructed on the Parade Ground in front of it.
5. Undertake all new work on historic buildings in accordance with The Secretary of the Interior's Standards for Rehabilitation.

5.B Site Development Guidelines

General guidelines for site development:

1. Provide for street and off street parking around perimeter of Parade Ground.
2. Maintain or locate large administrative, residential, and community buildings along roads on the east, north, and south sides with primary entrances facing the Parade and connecting to perimeter sidewalks and roads.
3. Separate buildings surrounding Parade Ground with lawn areas of uniform width along perimeter roads and sidewalks
4. Design new landscape features that fit within the existing spatial organization and land patterns of Fort DuPont.
5. Restore historic features of the site where practical, (gates, columns, walks, fountain) and plantings.
6. Maintain the Parade Ground as the heart of Fort DuPont through rehabilitation, reuse and interpretation of historic buildings and open spaces.
7. Consider selective placement of compatibly scaled infill construction and/or landscape treatments to strengthen the articulation of the edges of the Parade Ground as a historic open space.

5. DESIGN GUIDELINES FOR SPATIAL ORGANIZATION AND LAND PATTERNS

8. Maintain Old Elm Avenue as a tree-lined entrance road along the northern side of the Parade Ground.
9. Consider the arrangement and interrelationship of the character defining features within a landscape area prior to developing a landscape treatment. These features include topography, vegetation, circulation, water features, structures, site furnishings and objects.
10. When necessary, design new landscapes that are simple, straightforward and compatible with the existing historic landscapes.
11. Identify and map plant species of historic value, which have a direct association with the development of Fort DuPont or existing heritage plants and trees which date prior to 1945 or have commemorative value.
12. Follow the Fort DuPont approved plant list when making plant selections.
13. Select new plant material that is compatible with the existing plant palette within each development district.
14. Design landscapes that can be easily maintained and incorporate green practices.

5.C Building and Structure Guidelines

There is no single dominant style at Fort DuPont. The Fort is comprised of buildings that are of traditional, recognizable architectural styles, which are associated with specific periods of history. There are, however, common themes found in the military architecture such as functionality and stylistic restraint. The design of new building elements and additions should be in keeping with the historic character of Fort DuPont and the qualities of each development district.

General guidelines for Buildings and Structures

1. Research, protect, and interpret the significant archeological resources of Fort DuPont.
2. Retain and enhance the key historic building clusters, streetscapes and neighborhoods that define Fort DuPont.
3. Re-establish historic connections between buildings and adjacent open spaces. Rely on massing and building form, rather than on applied decoration, to give buildings their distinct identity.
4. New construction should be differentiated from but compatible with existing historic buildings.
5. Respect the massing of surrounding roof forms when developing new roofs. Roofs should be simple and direct. In general, shaped, gabled roofs are preferable to flat roofs.
6. Avoid alterations to character-defining features of existing buildings, both inside and out, including spaces and spatial relationships between buildings and their settings.
7. Rehabilitate the interiors to serve new uses and to meet current accessibility, building and life-safety codes in a manner that does not destroy historic features and historic finishes.
8. Attach new additions to existing buildings in a way that allows the wall receiving the addition to continue to “read”. Create a separation between the new and old structures, minimize their points of connection and emphasize openness as a characteristic of connecting structures.

5. DESIGN GUIDELINES FOR SPATIAL ORGANIZATION AND LAND PATTERNS

9. Orient new buildings to reinforce the historic framework and layout of the Parade Ground. Scale, massing, height, materials and color of infill construction must be compatible with the character of adjacent buildings
10. Historic buildings should be painted in accordance with paint selections from and approved by the Corporation's Historic Preservation Committee.
11. Exterior materials and colors should be sensitive to the historic character of existing and former buildings.
12. Historic structures that no longer exist may be considered as a source of inspiration for new design.
13. Orient primary buildings and entrances to public streets.
14. Site layout and building clusters should respect historic patterns of spatial organization and be compatible in scale with existing historic buildings.
15. The placement of art, sculpture, statuary or monuments will be guided by the Corporation's Historic Preservation Committee.

5.D Open Space, Vegetation and View Guidelines

General guidelines for Open Space, Vegetation and Views:

1. Retain and enhance historically significant open spaces such as the Parade Ground, setting of historic batteries, settings of historic buildings.
2. Restore the Parade Ground, reinforce the edges of this historic open space through new design features and buildings that are compatible in height, massing and scale to the historic buildings on the south side of the Parade Ground.
3. Maintain pedestrian and visual connections between the Parade Ground and the buildings at the head of the Parade ground.
4. Re-establish historic views and visual connections to the Delaware River and gun batteries. The availability of views to Fort Delaware and east and south to the Delaware River was the primary reason for the placement of Fort DuPont in this strategic location to allow for surveillance of ships moving up the river toward Philadelphia. These strategic and historic battery views are no longer visible and should be restored where practical, to provide geographic orientation for the Post as they are important character defining features.
5. Maintain and or restore small structures and symbolic objects such as the Flag Pole and cannons (shown in historic photographs) at the east end of the Parade Ground that evoke a sense of the Fort's history.
6. Maximize sustainable practices in plan development, implementation and maintenance of landscape vegetation projects.
7. Identify, document and map historic and existing landscape plantings and plant species in preparation of a plant palette for use at Fort DuPont.
8. Retain historic landscapes and historic plants wherever feasible.
9. Select appropriate plant materials for replacement using the Fort DuPont plant palette and consider design intent, function, and potential impacts to native plants.
10. Consider the arrangement and interrelationship of the character-defining features within a landscape prior to developing a landscape treatment. These features include topography, landscaping to elevate the setting of the buildings, vegetation or the lack of vegetation, circulation, water features, structures, site furnishings and objects.

5. DESIGN GUIDELINES FOR SPATIAL ORGANIZATION AND LAND PATTERNS

11. Design new landscapes to be compatible with the existing historic landscape especially in setbacks, side yards, landscaping with berms, rear alleys and parking.
12. Select plant material that is compatible with the plant palette developed for each landscape cluster or district. Not every plant on the list is appropriate in every area of the Fort.
13. Manage the forest areas of Fort DuPont through the development of a Forest Management Plan that is sensitive to the historic view sheds of the fort and local eco system. Manage the location of streetlights, signage, parking and other structures to avoid visual clutter on historic streetscapes.
14. Avoid excessive surface parking.
15. Locate trash storage and collection areas away from public open spaces, road corridors or important landscape features as much as possible.
16. Use paving materials that are compatible with the historic palette of Fort DuPont paving types.

5.E Circulation and Access Guidelines

General guidelines for Circulation and Access:

1. Create a hierarchy of routes throughout the Fort.
2. Maintain Old Elm Avenue (formerly New Castle Avenue) as the primary entrance.
3. Develop pedestrian and bicycle networks separate from the roadways.
4. Maintain vehicular perimeter roads along the north, south and west sides of the Parade Ground. Place pedestrian walks on the outer sides of perimeter roads, but no pedestrian walks on the inner sides except at the east.
5. Maintain primary historic entrance to Fort DuPont at the northwest corner nearest the Branch Canal.
6. Manage vehicular movement such as passenger drop-off, deliveries and loading in such a way to minimize traffic disruption on Post streets and maintain width and alignment of historic streets.
7. Manage the location of streetlights, signage, parking meters, bike racks, street furniture and other structures to avoid visual clutter on historic streetscapes.
8. Comply with applicable fire codes to provide emergency vehicle access.
9. Avoid the introduction of new driveways on historic roads.
10. Maintain existing widths or limit expansion of historic roadways where possible.
11. Bicycle racks should be placed in locations which will not detract from significant historic spaces.
12. The general orientation of streets and buildings should be based on historic patterns of development.
13. As appropriate, make selective use of window boxes, rain barrels, cannon balls and concrete bollards as shown in historic photographs.

6. DEVELOPMENT DISTRICTS

6. DEVELOPMENT DISTRICTS

Unified redevelopment projects including both existing buildings and new construction consistent with the historic character of Fort DuPont are incorporated into eight Development Districts.

Each development district has its own character and encompasses a logical area for redevelopment. The eight development districts (Exhibit A) consist of the Canal District, Officers Row District, Marina Village at Wingate District, Theater District, Quarter Master Place, The Barracks District, Battlement Square District and Reeves Farm District.

Redevelopment of each district will include the design and construction of streets, buildings, pedestrian walks, open spaces, and infrastructure as a complete and unified project, building off of the historic character of the location. Existing historic buildings within each district will be rehabilitated as part of the project. Vehicular circulation, landscaping, and infrastructure will incorporate existing historic features. Historic features such as streets, curbs, and sidewalks that are in deteriorated condition will be replaced with new features of similar character. Successful design solutions and precedents established during earlier projects will be carried through into later projects.

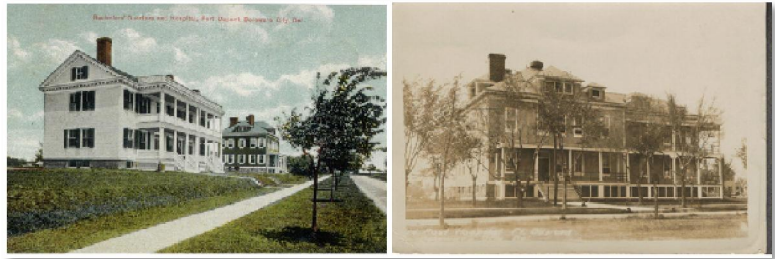
This section outlines design guidelines for each development district as a whole, including site design guidelines and architectural strategies for new construction.

The design and implementation of each development district should be based upon the guidelines provided here in both letter and spirit. Each development will contribute to the character of the Fort DuPont redevelopment initiative, preserving historic character while introducing new life and vitality through adaptive reuse.

6.A CANAL DISTRICT

6.A CANAL DISTRICT

The Canal District was the original location of the Bachelor Officer Quarters and the Post Hospital, both of which have unfortunately been lost. The last remaining historic structure located in this district is the wooden chapel, constructed in 1941.



The Canal District is being subdivided into 77 single family detached and town home residential lots. 21 lots are single family detached and 56 lots are 2 and 3- story town homes. The 2-story town homes will be wider lots to accommodate first floor suites.

Neighborhood design guidelines include:

1. Historic structures that no longer exist may be considered as a source of inspiration for new design.
2. The “edge” of this district facing the Parade ground is the formal “front” door of Fort DuPont, the first glimpse of the Post and should evoke its special setting.
3. New buildings should be located so as to hold the street edge and form a dignified façade to the new complex.
4. Massing of new structures facing the parade ground should mirror that of the large barracks buildings that remain along the south side of the parade ground.
5. View sheds should be sensitive to the Branch Canal.
6. Pedestrian walk should be incorporated along the edge of the Branch Canal. Architectural details for new housing shall be compatible with Officers Row and historic structures that no longer exist. Following details are provided as a guideline

Color:

Single Family attached homes in the Canal District shall conform to the following color selections:

Trim: Exterior trim shall be white or off-white. Exterior trim shall include rakes, fascias, soffits, columns, window/ door casing and trim, porch rim boards, beam soffits, cornices, rakes, etc.

Siding: Exterior siding shall be selected from the colors set forth in Exhibit C. Colors outside of the palette in Exhibit C will be subject to review and approval of the Board or its appointed committee. Color selected cannot be the same as the lot adjoining or directly across the street.

Front Doors and Shutters: Exterior doors and shutters shall be of a contrasting color to the brick or siding. Colors shall be dark paint or stain. See section below for window, shutter and door styles.

6.A CANAL DISTRICT

Exterior Brick: Exterior brick to be red/ brown range and can be either flashed or non-flashed.

Roofing: Shingle roofs to be GAF Slateline Royal Slate or Timberline Slate or comparable style and color. Standing seam metal roofs to be, unfinished natural copper, terne metal or black.

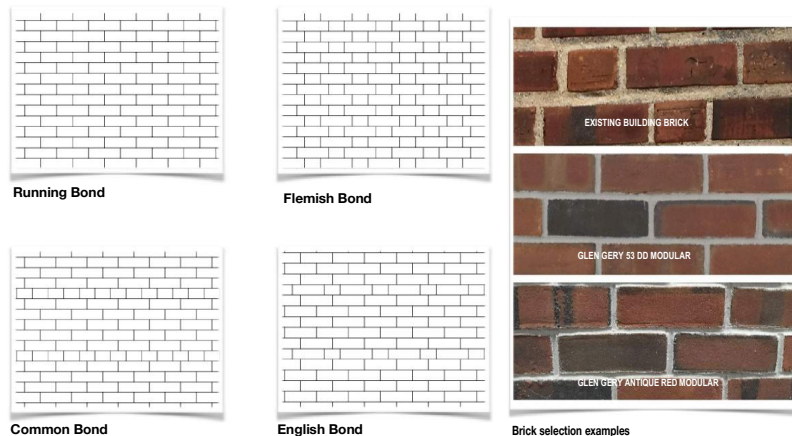
Gutters and Downspouts: White, Off-white, dark bronze or unfinished natural copper.

Fencing: Black for metal fencing, or white for wood fencing.

Materials:

Homes in the Canal District shall utilize the following exterior materials.

Exterior Brick: Bonding to be Running Bond, Common Bond, Common Flemish bond or English Cross bond. See window and door diagrams for brickwork at head and sills.



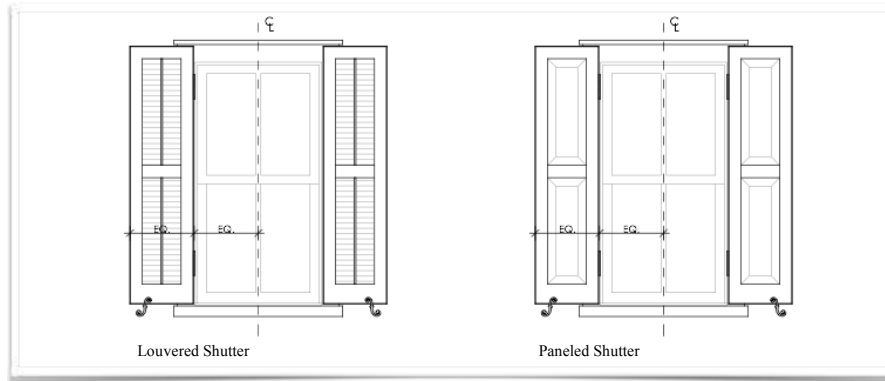
Siding: Exterior siding shall be pre-finished or painted fiber-cement with smooth finish or wood. Siding lap to be 6" shiplap. Vinyl siding to be minimum of 0.46" thick.

Roofing: Asphalt architectural style shingles to be GAF Slateline or Timberline Slate or comparable style and color, pre-finished standing seam metal roofs, copper or slate.

Foundations: Exposed foundations walls must be veneered with brick, concrete stucco parge or dressed stone consistent with historic examples.

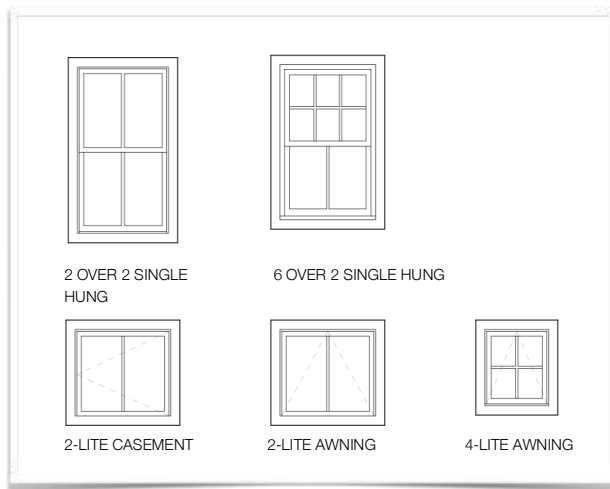
Shutters: Painted wood, painted composite lumber and approved vinyl. Shutter style to be paneled or louvered. Shutter may be operable or mounted as if to be operable with visible hinges, encouraged but not required. Shutter dogs optional but preferred. Width of each paired shutter shall be no less than 50% the width of the window.

6.A CANAL DISTRICT



Shutter Types

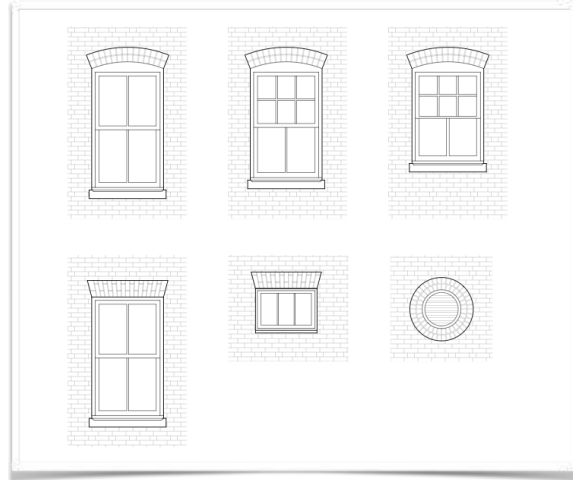
Windows: Windows along Elm Ave and sides shall closely resemble historic window styles and proportions as shown below and be compatible with those in Officers Row, including sashes to be true divided lites or simulated divided lites with solid spacers between muntins and shadow bars. Applied muntins with shadow bar would be acceptable. Window types shall be predominantly single/ double hung at first and second floor levels. Basement and accent windows can be casement or awning style. Window units to be wood or clad wood frames and sashes.



Standard windows in siding

Windows within siding shall have trim to be nominal 4" wide minimum at head and jambs with sloping sill. Sill profile to be minimum 1 1/2" tall. Acceptable trim materials are painted wood, wood composite, vinyl or fiber-cement.

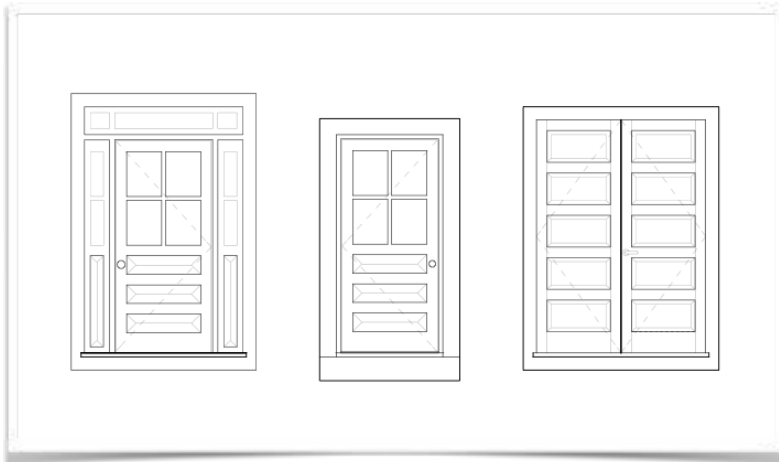
6.A CANAL DISTRICT



Standard windows in brick

Windows in brick facades shall have brick jack arch or segmental arch heads. Window sills to be sloped cast stone, minimum 5" high. Cast stone to be wet cast, no dry tamped cast stone permitted.

Exterior Doors: Entry doors to resemble historic styles as shown below. Door lights to be true divided lites or simulated divided lites with solid spacers between muntins. Door material to be painted wood, stained wood or painted/ pre-finished fiberglass. No metal exterior doors permitted. Full lite doors are permitted as an option and are subject to Board approval. Sample elevation provided below. Transoms and sidelines not required but encouraged. Sliding glass doors are acceptable in the rear.



Door elevations in siding

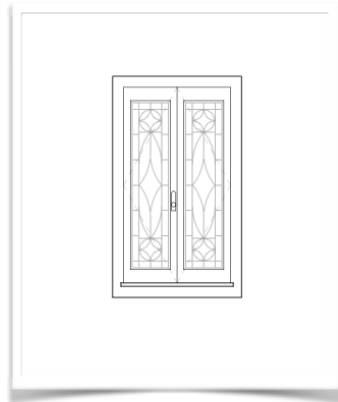
Doors within siding shall have trim to be nominal 4" wide minimum at head and jambs. Provide solid matching trim below

6.A CANAL DISTRICT



Door elevations in brick

Doors in brick facades shall have brick jack arch or segmental arch heads. Door sills to be cast stone, minimum 7 ¾" high. Cast stone to be wet cast, no dry tamped cast stone permitted.



Full lite door

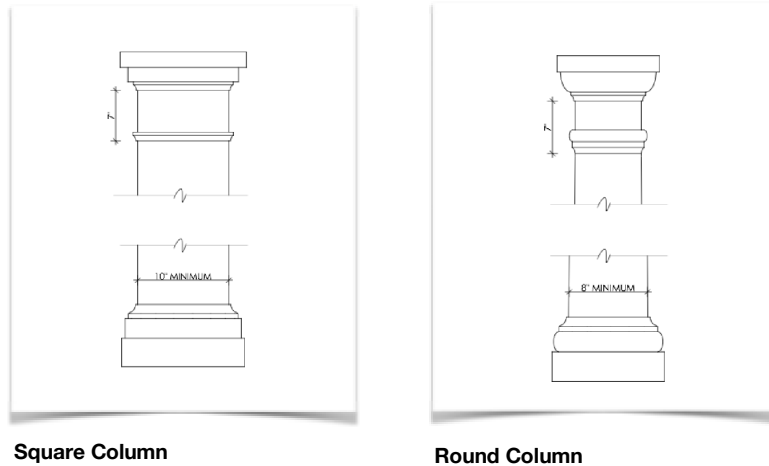
Optional door with full lite or partial lite leaded glass. Door trim per details above for brick or siding.

Trim: Exterior trim shall include rakes, fascias, soffits, columns, window/ door casing and trim, porch rim boards, beam soffits, cornices, rakes, etc. Trim materials to be painted wood, wood composite, fiber-cement or molded millwork.

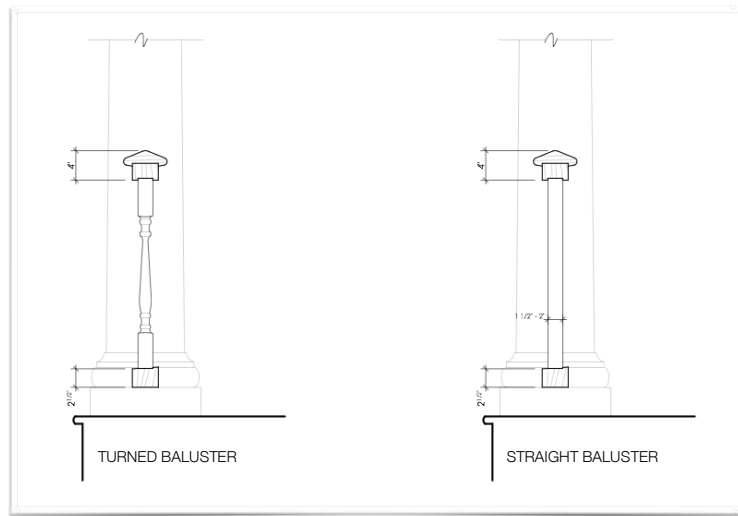
Roof overhang soffit/ porch soffit: Stained or painted tongue and groove wood or composite wood and fiber-cement. Vinyl and aluminum soffits are not permitted.

Painted wood or fiberglass or molded millwork. Minimum 8" diameter round or 10" square. Round column shafts to be plain tapered, non-fluted. Square columns to be non-tapered, plain, no flutes or panels. All column types must have base trim and capital with neck trim 7"-10" from bottom of capital. Profiles shall conform with historic profiles.

6.A CANAL DISTRICT



Railings: Straight or turned balusters, maximum spacing 4" on center. Rail and balusters to be painted wood, wood composite, molded millwork and aluminum. No vinyl rails permitted. Top and bottom rail to be minimum 4" high and 3" deep. Bottom rail to be minimum 2" high and 3 1/2" deep.



Railing profiles

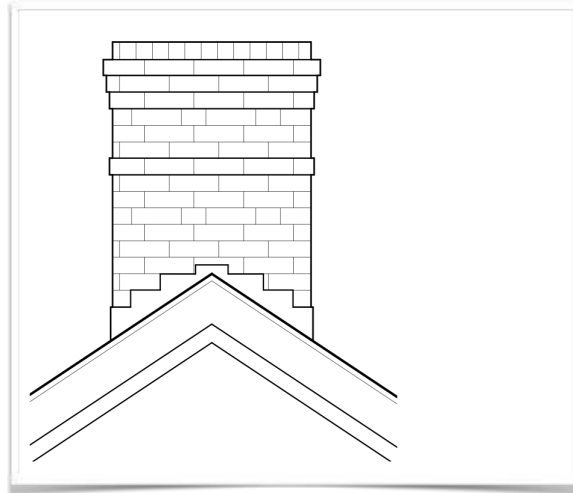
Gutters: Half-round pre-finished aluminum, half-round copper or concealed gutters.

Downspout: Round/ round corrugated pre-finished aluminum or round copper

Chimneys: Chimneys shall be brick veneer over wood frame or solid masonry. Fireplace and chimney shall be internal with no exposure until above the roofline. Chimneys must have at least one projected brick accent band and at least three corbel courses. Corbels need not be adjoining courses. Corbels may occur grouped as shown right, or individually. No flues visible from street level and should have a cement wash at top. Direct vent fire places shall be permitted in the Canal District however no cantilevered direct vent fireplaces are permitted. The fireplace must be flush

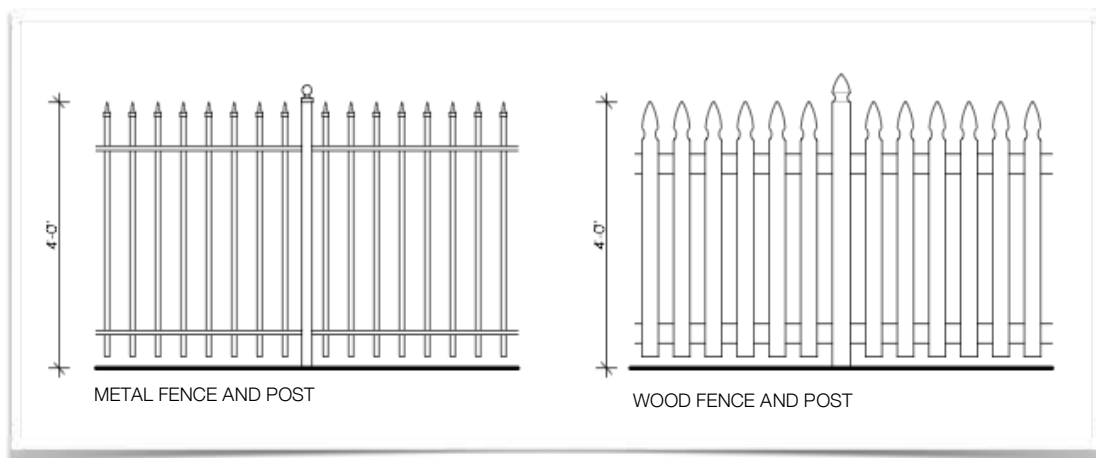
6.A CANAL DISTRICT

with the exterior wall with the only permitted projection being the vent itself. Fireplace vents are permitted on rear and side facades only.



Chimney elevation

Fencing: Materials shall be aluminum, wrought iron, or wood/composite pickets. Fences, whether decorative or for security, shall not exceed 48" in height. Metal fence posts shall have round or spear finials or wood caps for wood fences. Wood fence posts to be minimum 4x4 with decorative spear-top or wood cap and be centered on the fence, both visible and unobstructed from both sides. Distance between fence posts not to exceed 6'. Fence diagrams as illustrated above show the relationship between the post and balusters and not intended to limit style or ornamentation. Typical fences of the era are very ornate. Though simpler designs will be acceptable, decorative and ornate fencing is encouraged.

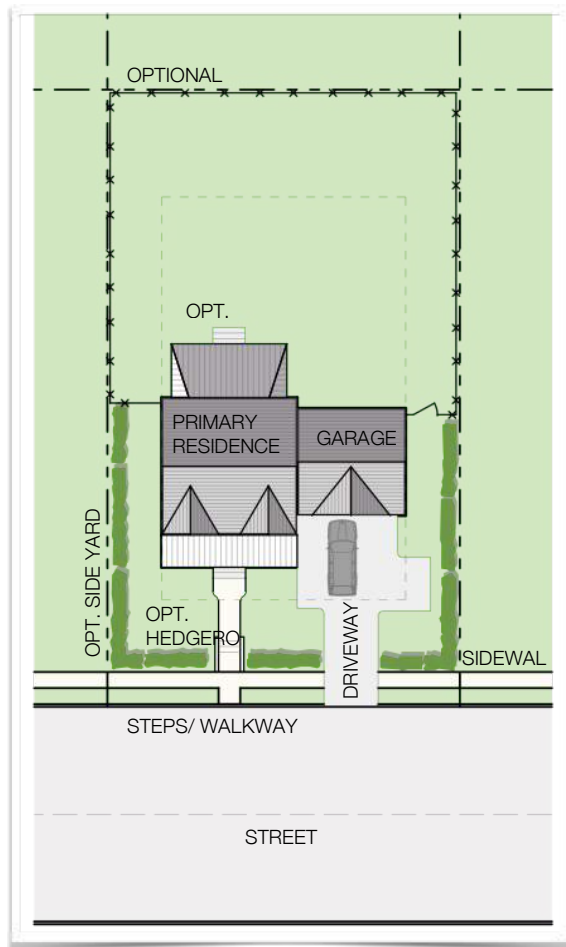


Fence elevations

6.A CANAL DISTRICT

Lot Layout:

The Canal District consists of three basic lot types- single family detached with attached garage, single family attached with rear garage along the Parade Ground and single family attached with front garage. Lots shall have the following lot characteristics and restrictions.



Single Family Detached house: The main structure shall conform to setbacks per the zoning ordinance and referenced elsewhere in this manual.

Steps and sidewalks: The main front entrance shall be accessed from the main street and sidewalk via concrete walk and steps as needed. If steps are needed they shall have cheek walls each side. Walkway, steps and cheek walls shall be dyed concrete to best resemble aged concrete with smooth finish and eased edges. Texture as needed for slip resistance.

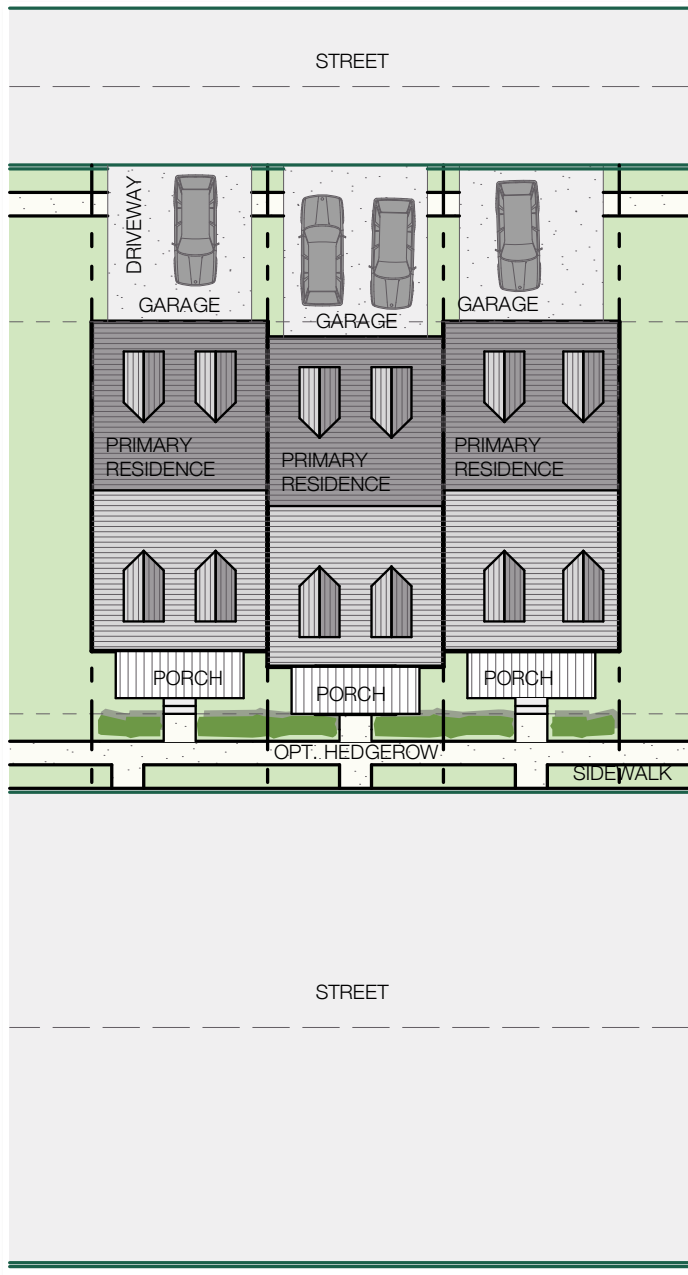
Porches: Detached homes may have a single story front porch. See architectural details below for porch dimensions and roof pitch. Rear porch or screened in porches are optional.

Garages: Garages shall be attached, minimum 2-car capacity with gable roof. Vehicular access shall be from the front or side via a driveway off the street.

Fencing: Optional fencing to be located in the rear yard and shall not project farther than the rear corner of the residence. See diagrams above for allowable fence types.

Hedge Row: Optional hedge row can be located along the front and side yard.

6.A CANAL DISTRICT



Single Family attached along Parade Ground

Single Family Attached house:

The main structure shall conform to setbacks per the zoning ordinance and referenced elsewhere in this manual. Town homes fronting the parade ground should read as unified structures to balance the massing of the large barrack structures to balance the massing of the large barrack structures on the south side.

Steps and sidewalks: The main front entrance shall be accessed from the main street and sidewalk via concrete walk and steps as needed. If steps are needed they shall have cheek walls each side. Walkway, steps and cheek walls shall be dyed concrete to best resemble aged concrete with smooth finish and eased edges. Texture as needed for slip resistance.

Porches: Town homes shall have a single story and/or two story front porch. See architectural details below for porch dimensions and roof pitch.

Garages: Garages shall be attached, minimum 2-car capacity. Vehicular access shall be from the rear via a driveway off the street.

Fencing: Front courts shall be screened with either fences or shrubbery. See diagrams above for allowable fence types.

Hedge Row: Front courts shall be screened with either fences or shrubbery. Hedge rows can be located along the front, side and/ or rear yard.

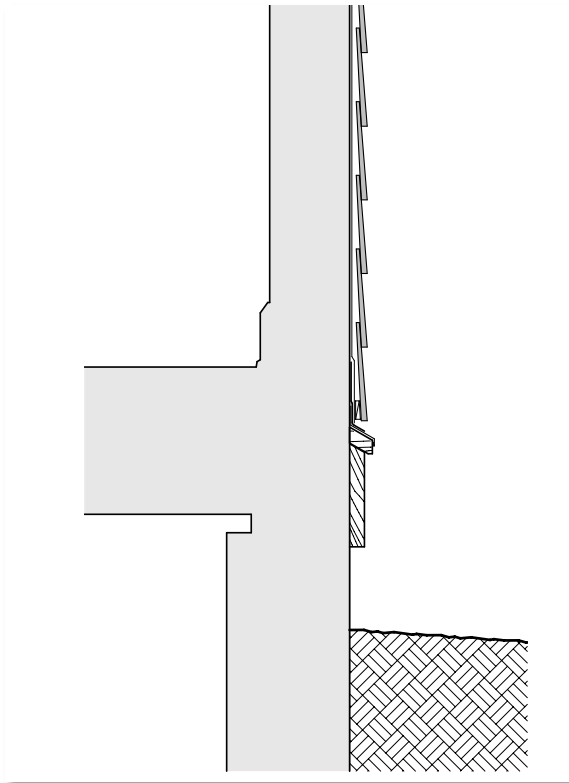
6.A CANAL DISTRICT

Architectural Details:

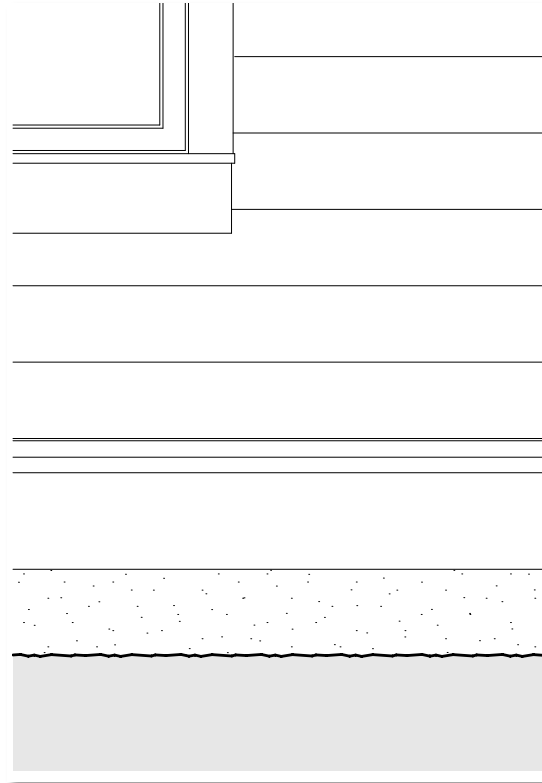
Canal District shall be detailed in conformance with the existing structures, similar but not limited to the following details for porches, eaves, crown moldings and wall base.

Wall base at Siding: The base of wall shall have a continuous wood or composite water table trim minimum 8' deep with sloped cap, see siding base detail.

Water table: Brick water tables shall be permitted. Water table shall extend from grade to underside of first floor window sill.

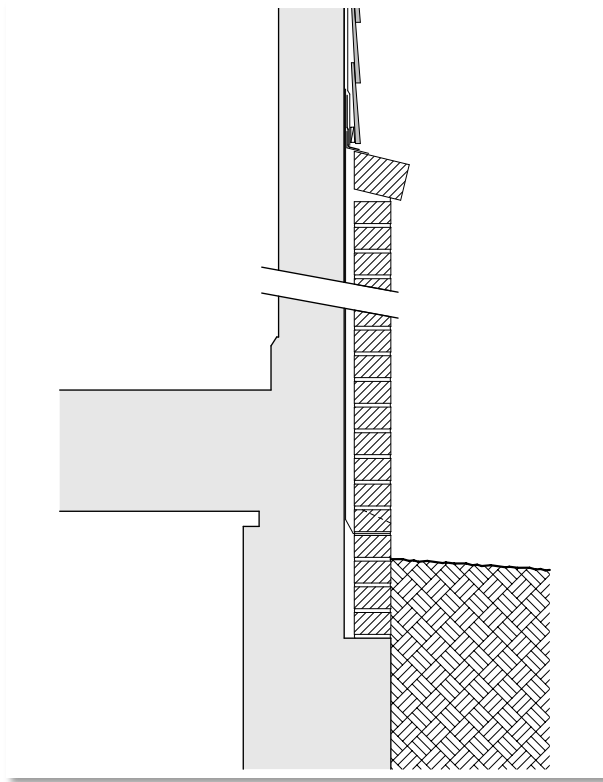


Siding base detail

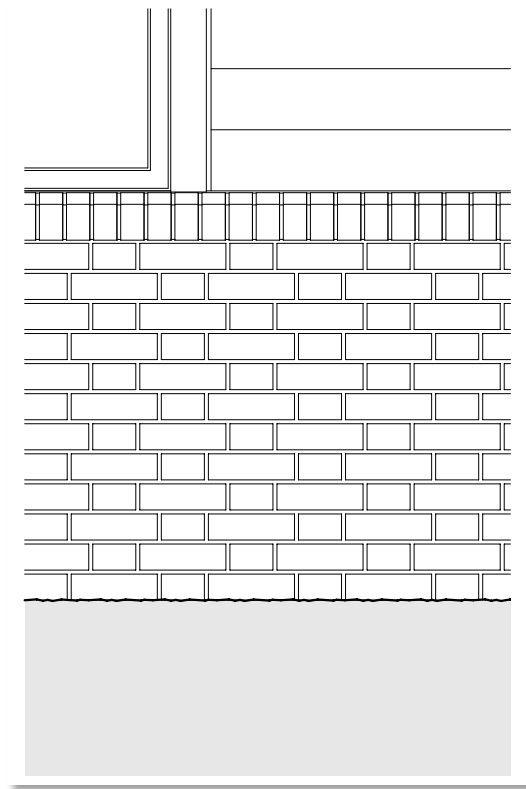


Siding base elevation

6.A CANAL DISTRICT



Brick water table detail



Brick base elevation

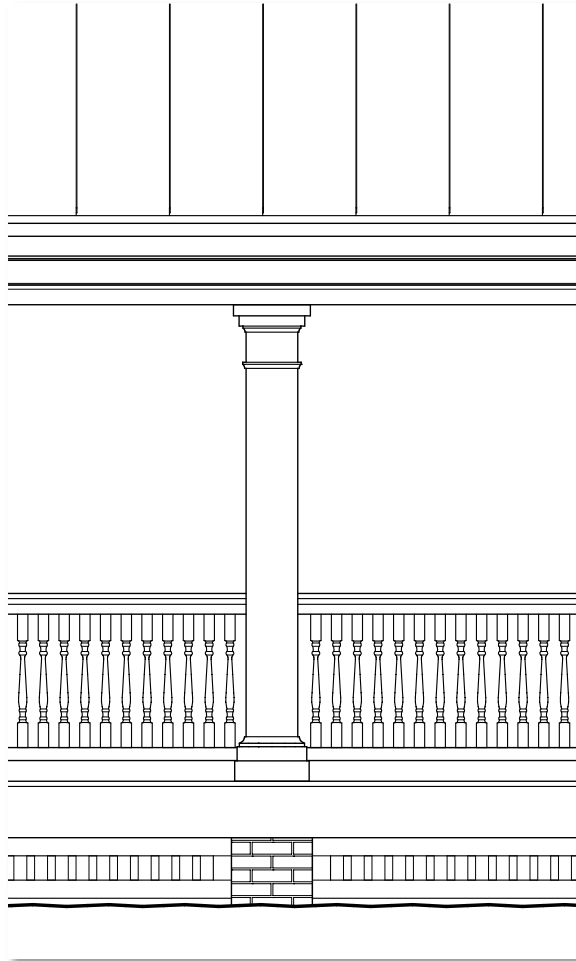
Porch Steps: Homes shall have front porches accessible by concrete, wood or composite wood steps. Rails and balusters shall conform to those described above. Newel posts to be wood, wood composite or fiberglass with decorative caps. Open sides of stairs must be infilled with lattice work as described above and pictured below.

Porch roof: Porches shall have shallow roofs not exceeding 4 units in 12.

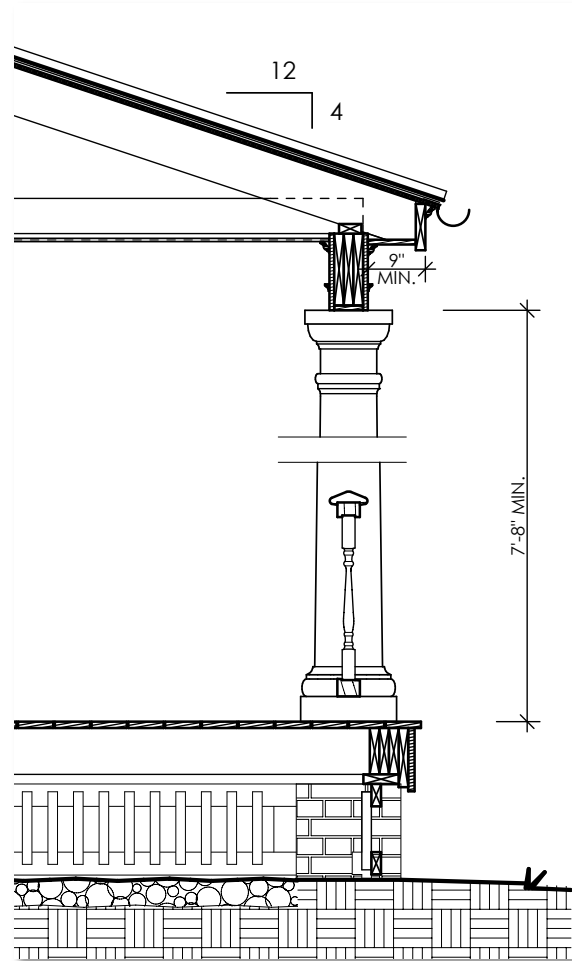
Porch piers: Front porches will be supported on brick piers. Piers to be aligned with porch columns above. Wood/ composite band board must be proud of piers and be continuous at all exposed faces. Finished porch elevation shall be no less than 21 " above finish grade. Space between piers must be infilled with lattice work similar to the porch elevation below. Vertical members to be 1 1/2" wide minimum spaced 3" apart. Frame lattice with 6" nominal painted wood/ composite lumber. verticals shall be backed by two continuous horizontal members equally spaced from bottom and top of frame. Rear porches are not required to have brick piers or lattice infill.

Porch beam soffit: Porch beams to be clad in painted wood or composite trim with continuous cornice and ogee/ cove trim per detail below.

6.A CANAL DISTRICT



Porch Elevation

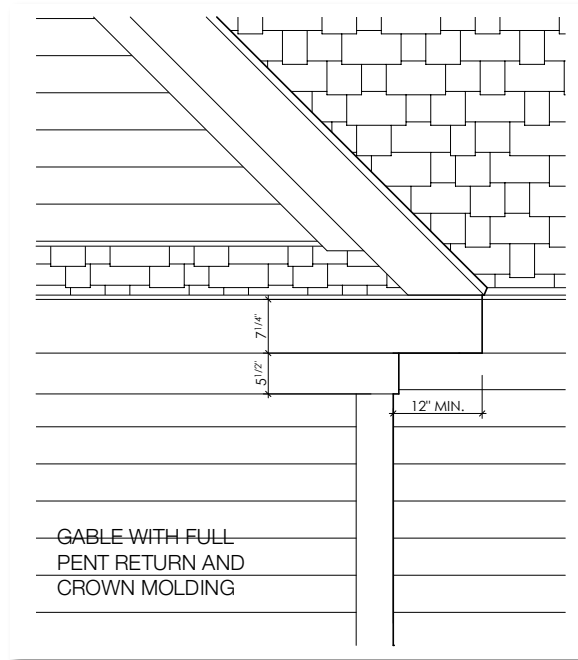
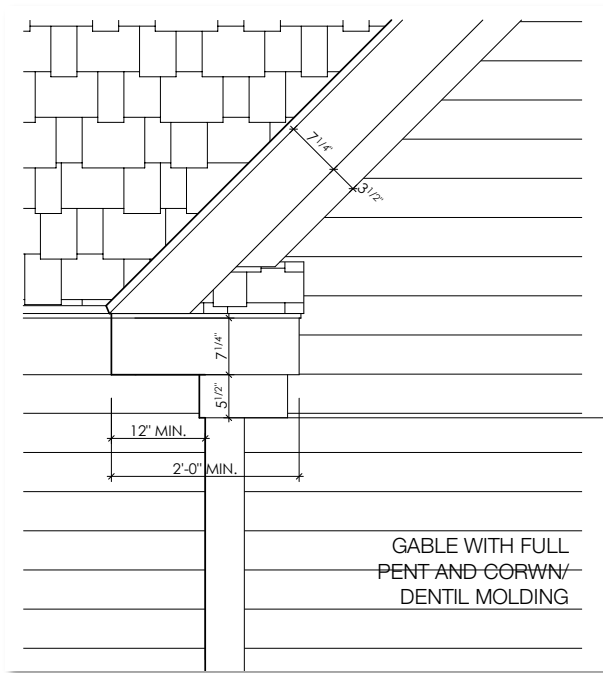


Porch Section

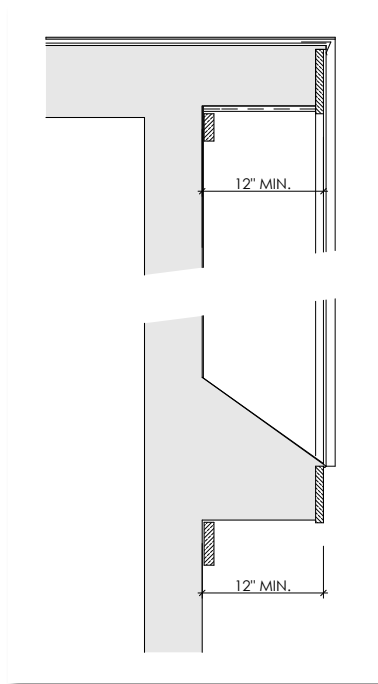
Foundation walls: Exposed concrete and masonry foundation walls shall be parged below siding to grade. Where facades have brick veneer, the veneer shall extend to minimum 8" below finish grade as depicted in the brick water table detail above.

Main Roof: Homes in the Canal District shall have gable roofs with a minimum of 8:12 pitch. Eave and gable overhangs to be 12" minimum. Gable roofs shall have a full pent roof or pent returns minimum 2'-0". Pents and returns shall have architectural shingles, standing seam metal or copper roofing.

6.A CANAL DISTRICT



Gable and Eave Elevations



Eave Detail

6.B OFFICERS ROW DISTRICT

6.B OFFICERS ROW DISTRICT

Officers Row was originally used to house officers and their families. It is separated from the enlisted men's barracks and other uses at Fort DuPont by the Parade Ground. Other than the Commanding Officer's Quarters and Administration Building at the head of Officer's Row, only three of its historic residential buildings survive.



The character area's defining features include:

1. Narrow tree-lined residential street, eventually developed with concrete curbs and sidewalks.
2. Former entrance gate at the former Branch Canal road, both the road and gate now removed.
3. Focal point at the south end, location of the Commanding Officer's Quarters (site of the former farmhouse) and intersection with the Parade Ground.
4. Large single-family and duplex residences lining both sides of the street.
5. Residences spaced at regular intervals, uniformly set back from the street in lawn areas with narrow concrete entrance walks.
6. Residences two stories in height with full attics and raised basements; buildings mostly wood-sided (one brick building) with gable roofs and broad front porches, originally open and later screened.
7. Rear alleys for vehicle access and parking; small rear yard areas.
8. Large deciduous canopy trees lining the street; limited shrub plantings in yard areas; originally a trimmed hedge along the sidewalk, removed in later years.
9. Continuous, shared lawn areas with no divisions around or between residences.

Officers Row has now been subdivided into 15 residential lots, three of which include the remaining historic homes.

Neighborhood design guidelines include:

1. Maintain the residential character of the historic landscape while respecting the stately character of the historic architecture.
2. Plant palettes that respects the district's historic decorative feeling.
3. Identify existing heritage plants and protect them.
4. Maintain or replicate the historic concrete walkways in width and alignment around historic residences.

6.B OFFICERS ROW DISTRICT

5. Restore foundation plantings around the historic residences.
6. Maintain the historic roadway width and layout on Officers Row.
7. Provide access to residences through the use of alleyways and driveways in the rear of the buildings.
8. Maintain views to points within the district and views to points beyond such as the Commanding Officer's House, Parade Ground and Delaware River
9. Use hedges and tree rows that conform to street and sidewalk alignments.
10. Use a limited paving palette for new concrete and asphalt with color and texture compatible with historic materials.
11. Replace missing or unhealthy street trees based on cultural landscape survey and plant palette.
12. New site features such as stairs and curbing should be simple straightforward design construction of durable and functional materials consistent with historic designs.
13. New buildings in this district as well as infill construction should complement historic patterns of development.



Architectural details for new housing shall be compatible with the existing historic homes. Following details on the historic buildings are provided as a guideline.

Color:

Exterior color options for homes in Officers Row shall be as follows:

Trim: Exterior trim shall be white or off-white. Exterior trim shall include rakes, fascias, soffits, columns, window/door casing and trim, porch rim boards, beam soffits, cornices, rakes, etc.

Siding: Exterior siding shall be selected from the colors set forth in Exhibit C. Colors outside of the palette in Exhibit C will be subject to review and approval of the Board or its appointed committee. Color selected cannot be the same as the lot adjoining or directly across the street.

Front Doors and Shutters: Exterior doors and shutters shall be of a contrasting color to the brick or siding. Colors shall be dark paint or stain. See section below for window, shutter and door styles.

Exterior Brick: Exterior brick to be red/ brown range similar to flashed brick used on site.

Roofing: Shingle roofs to be GAF Slateline Royal Slate. Standing seam metal roofs to be, unfinished natural copper, terne metal or black.

Gutters and Downspouts: White, Off-white, dark bronze or unfinished natural copper.

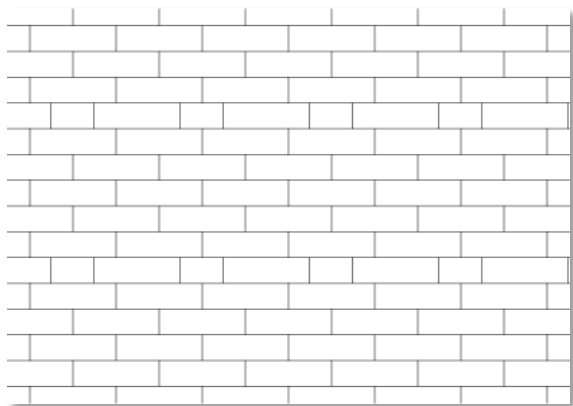
6.B OFFICERS ROW DISTRICT

Fencing: Black for metal fencing, or white for wood fencing.

Materials:

Homes in Officers Row shall utilize the following exterior materials.

Exterior Brick: Exterior brick shall be modular size, molded units. Bonding to be Common bond or English bond. See window and door diagrams for brickwork at head and sills.



Brick bonding pattern



Brick selection examples

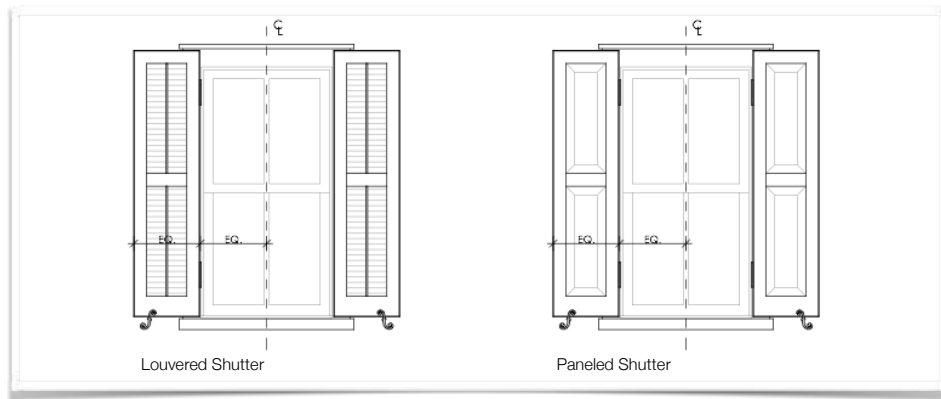
Siding: Exterior siding shall be pre-finished or painted wood or fiber-cement. Siding lap to be 6” clapboard with 4” reveal. No aluminum or vinyl siding permitted.

Roofing: Main house roof shall be 8:12 pitch. Asphalt architectural style shingles to be GAF Slateline, pre-finished standing seam metal roofs, copper or slate.

Foundations: Exposed foundations walls must be veneered with brick, concrete stucco parge or dressed stone consistent with historic examples.

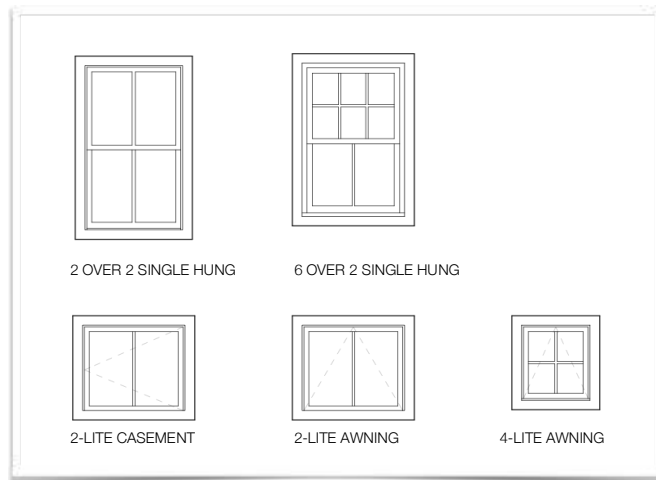
Shutters: Painted wood or painted composite lumber. Shutter style to be paneled or louvered, mounted as if to be operable with visible hinges. Shutter dogs optional but preferred. Width of each paired shutter shall be no less than 50% the width of the window.

6.B OFFICERS ROW DISTRICT



Shutter Types

Windows: Windows shall closely resemble historic window styles and proportions as shown below. Sashes to be true divided lites or simulated divided lites with solid spacers between muntions and shadow bars. Window types shall be predominantly single/ double hung at first and second floor levels. Basement and accent windows can be casement or awning style. Window units to be wood frames and sashes.



Standard windows in siding

Windows within siding shall have trim to be nominally 6" wide minimum at head and jambs with sloping sill. Sill profile to be minimum 1 1/2". Acceptable trim materials are painted wood, PVC composite or fiber-cement.

6.B OFFICERS ROW DISTRICT

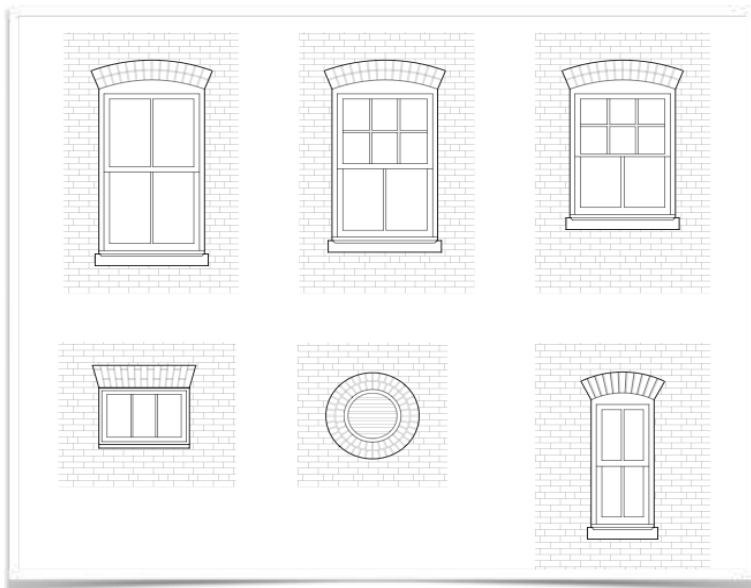


Windows within siding shall have trim to be nominally 5"-6" wide minimum at head and jambs with sloping sill. Sill profile to be minimum 1 1/2" tall. Acceptable trim materials are painted wood, wood composite or fiber-cement.

Special windows to occur at gable ends, dormers or feature

Special windows in siding

windows. Windows within siding shall have trim to be nominally 5"-6" wide minimum at head and jambs with sloping sill. Sill profile to be minimum 1 1/2" tall. Acceptable trim materials are painted wood, wood composite or fiber-cement.

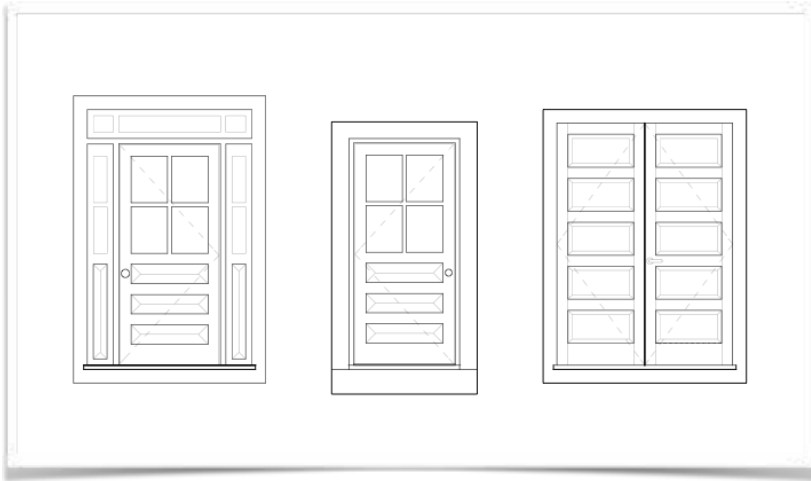


Windows in brick facades shall have brick or jack arch or segmental arch heads. Window sills to be sloped cast stone, minimum 5" high. Cast stone to be wet cast, no dry tamped cast stone permitted.

Standard windows in brick

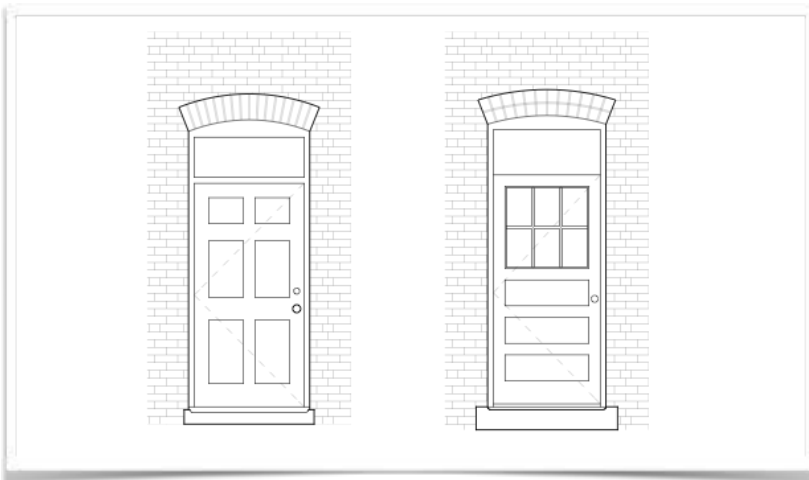
Exterior Doors: Entry doors to resemble historic styles as shown below. Door lights to be true divided lites or simulated divided lites with solid spacers between muntins. No applied or between the glass muntins. Door material to be painted or stained wood. No fiberglass or metal doors. Full lite doors are permitted as an option and are subject to Board approval. Sample elevation provided below. Transoms and sidelines not required but encouraged.

6.B OFFICERS ROW DISTRICT



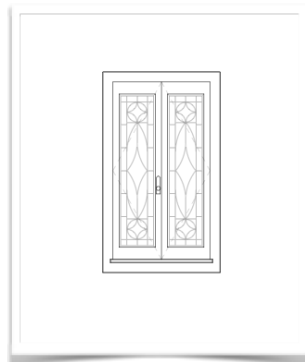
Door elevations

Doors within siding shall have trim to be nominally 5"-6" wide minimum at head and jambs. Provide solid matching trim below door threshold.



Doors in brick

Doors in brick facades shall have brick jack arch or segmental arch heads. Door sills to be cast stone, minimum 7 3/4" high. Cast stone to be wet cast, no dry tamped cast stone permitted.



Optional full-lite door

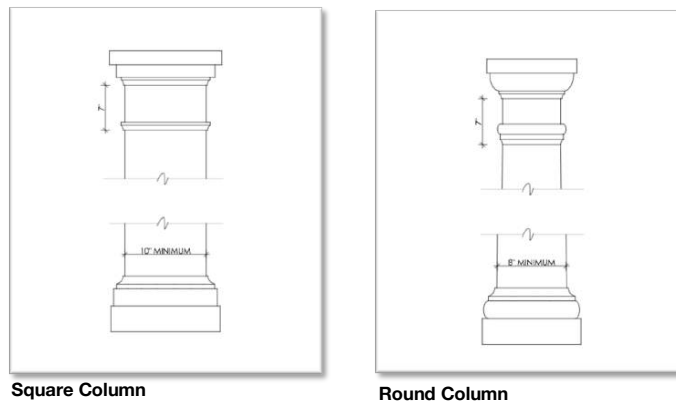
Optional door with full lite leaded glass. Door trim per details above for brick or siding.

6.B OFFICERS ROW DISTRICT

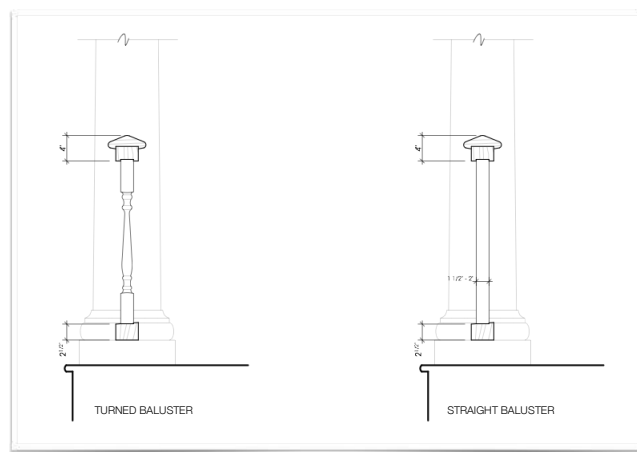
Trim: Exterior trim shall include rakes, fascias, soffits, columns, window/ door casing and trim, porch rim boards, beam soffits, cornices, rakes, etc. Trim materials to be painted wood, wood composite or fiber- cement.

Roof overhang soffit/ porch soffit: Stained or painted tongue and groove wood/ composite wood and fiber-cement. Vinyl and aluminum soffits are not permitted.

Columns: Painted wood or fiberglass. Minimum 8” diameter round or 10” square. Round column shafts to be plain tapered, non-fluted. Square columns to be non-tapered, plain, no flutes or panels. All column types must have base trim and capital with neck trim 7”-10” from bottom of capital. with historic profiles.



Railings: Straight or turned balusters, maximum spacing 4” on center. Rail and balusters to be painted wood or wood composite. No vinyl rails permitted. Top and bottom rail to be minimum 4” high and 3” deep. Bottom rail to be minimum 2” high and 3 1/2” deep. Two inch diameter pipe rail is permitted so long as it reflects the original pipe rail design.



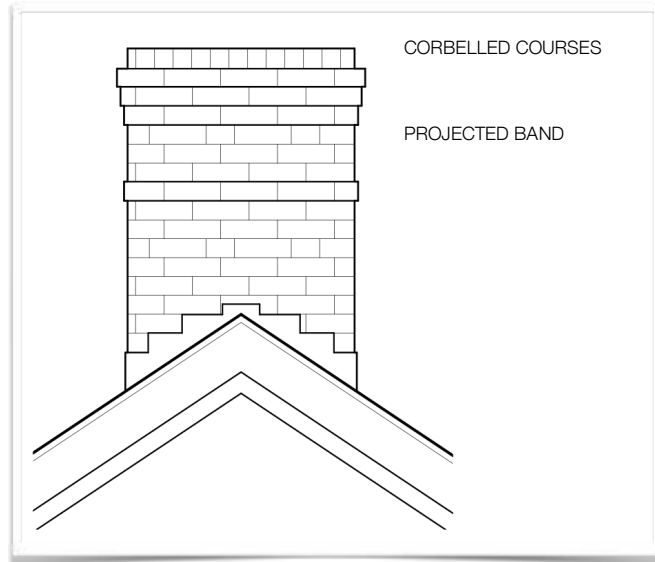
Railing profiles

Gutters: Half-round pre-finished aluminum, half-round copper or concealed gutters.

6.B OFFICERS ROW DISTRICT

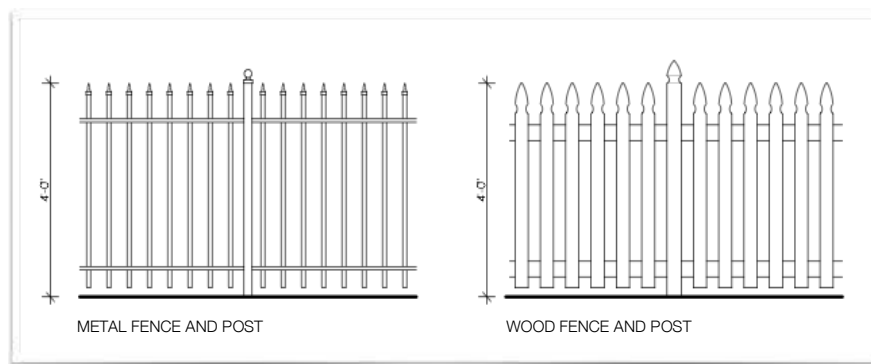
Downspout: Round/ round corrugated pre-finished aluminum or round copper.

Chimneys: Chimneys shall be brick veneer over wood frame or solid masonry. No cantilevered direct vent fireplaces are permitted. Fireplace and chimneys need not be centered on the gable but shall be internal with no exposure until above the roofline. Chimneys must have at least one projected brick accent band and at least three corbel courses. Corbels need not be adjoining courses. Corbels may occur grouped as shown right, or individually. No flues visible from street level and should have a cement wash at top.



Chimney elevation

Fencing: Materials shall be aluminum, wrought iron, or wood/composite pickets. Fences, whether decorative or for security, shall not exceed 48" in height. Metal fence posts shall have round or spear finials or wood caps for wood fences. Wood fence posts to be minimum 4x4 with decorative spear-top or wood cap and be centered on the fence, both visible and unobstructed from both sides. Distance between fence posts not to exceed 6'. Fence diagrams as illustrated below show the relationship between the post and balusters and not intended to limit style or ornamentation. Typical fences of the era are very ornate. Though simpler designs will be acceptable, decorative and ornate fencing is encouraged.

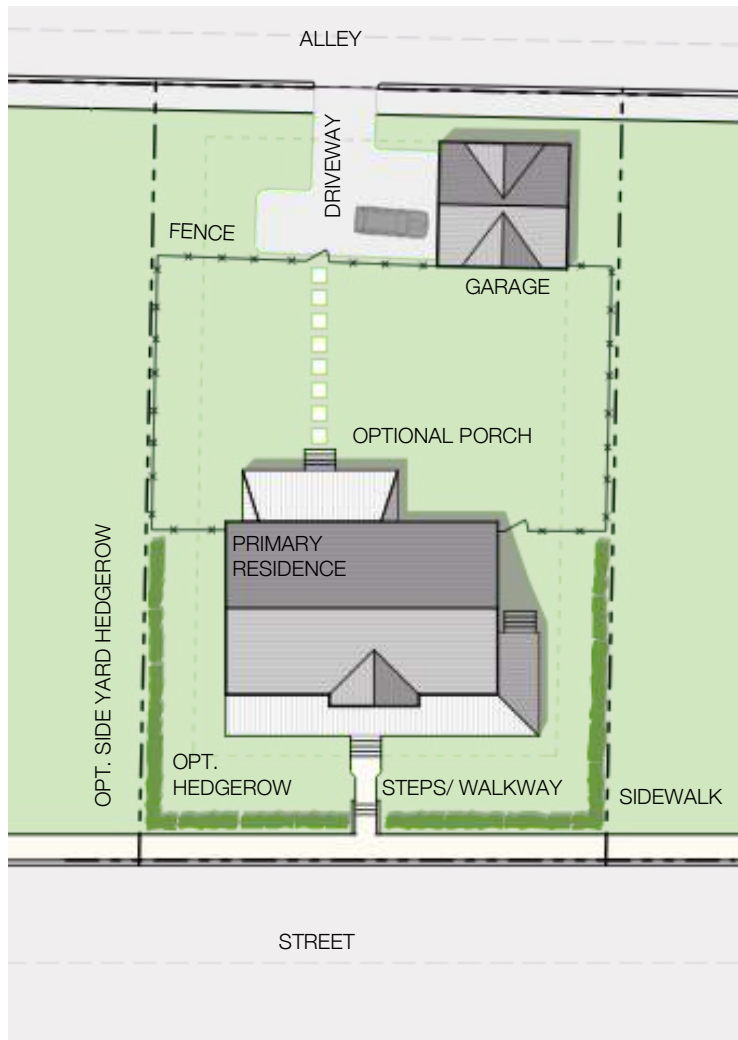


Fence elevations

6.B OFFICERS ROW DISTRICT

Lot Layout:

Officers Row consists of 15 lots located on the northeastern portion of the development. Lots shall have the following lot characteristics and restrictions:



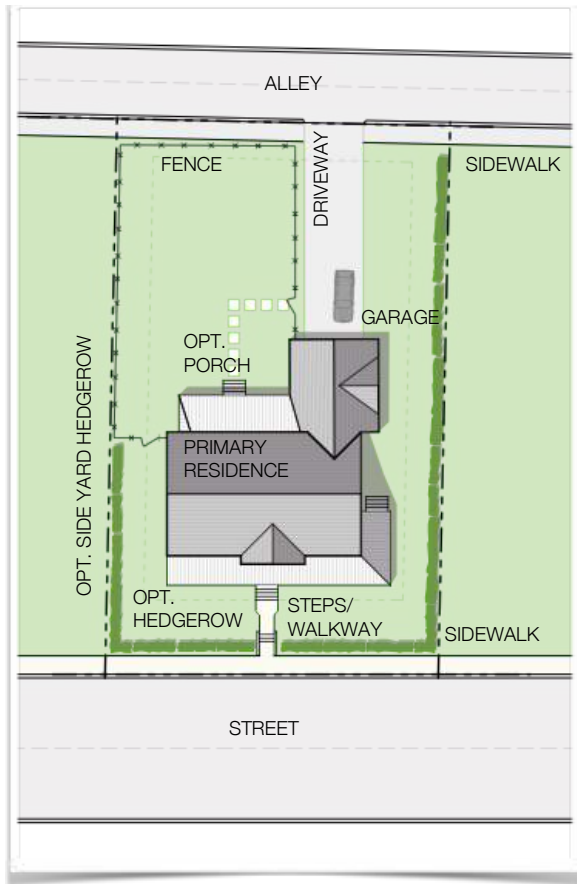
Typical Lot Diagram w/ detached garage

Main house: The main structure shall conform to setbacks per the zoning ordinance and referenced elsewhere in this manual.

Steps and sidewalks: The main front entrance shall be accessed from the main street and sidewalk via concrete walk and steps as needed. If steps are needed they shall have cheek walls each side. Walkway, steps and cheek walls shall be dyed concrete to best resemble aged concrete with smooth finish and eased edges. Texture as needed for slip resistance.

Porches: Homes shall have a single story front porch. See architectural details below for porch dimensions and roof pitch. Rear porch or rear screened in porches are optional.

6.B OFFICERS ROW DISTRICT



Typical Lot Diagrams attached garage

Fencing: Fencing to be located in the rear and side yards and shall not project past the front of the residence.

Hedge Row: Optional hedge row can be located along the front, side and rear yards.

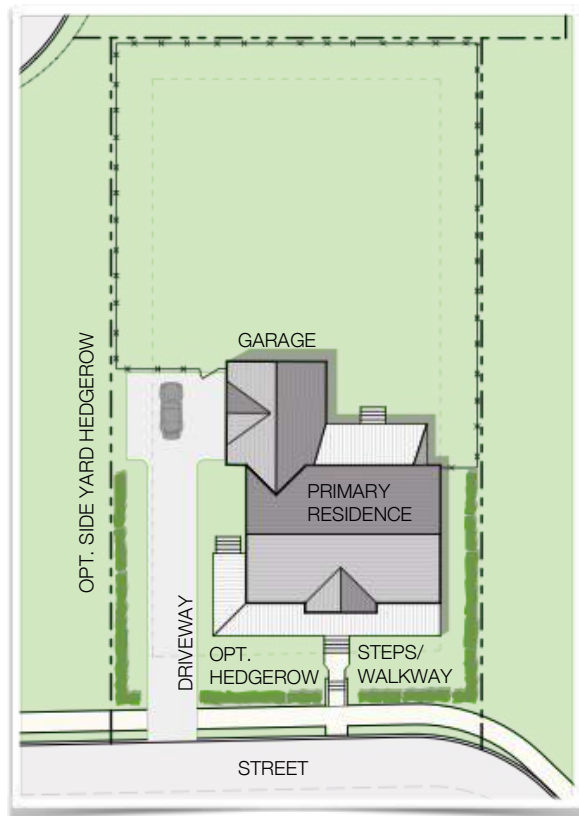
Garages: Garages shall be single story, minimum 2-car capacity with gable roof. Garages may be attached or detached. Vehicular access shall be permitted only from the rear alley. Garages shall not be visible from the front of the house.

Exceptions:

Historic lots 4, 5 and 9 must have detached garages. Attached garages are not permitted.

Lots 14 and 15 do not have alley access and therefore shall have driveway access from the street.

FENCE

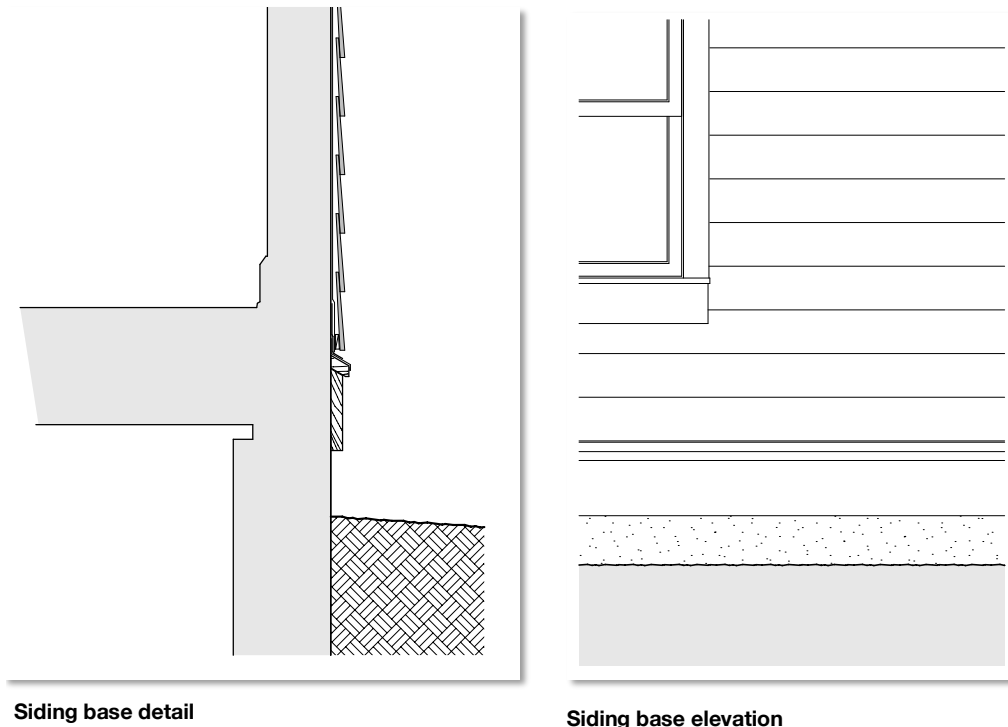


Lot Diagram for 15 only

6.B OFFICERS ROW DISTRICT

Architectural Details:

Officers Row shall be detailed in conformance with the existing structures, similar but not limited to the following details for porches, eaves, crown moldings and wall base.



Siding base detail

Siding base elevation

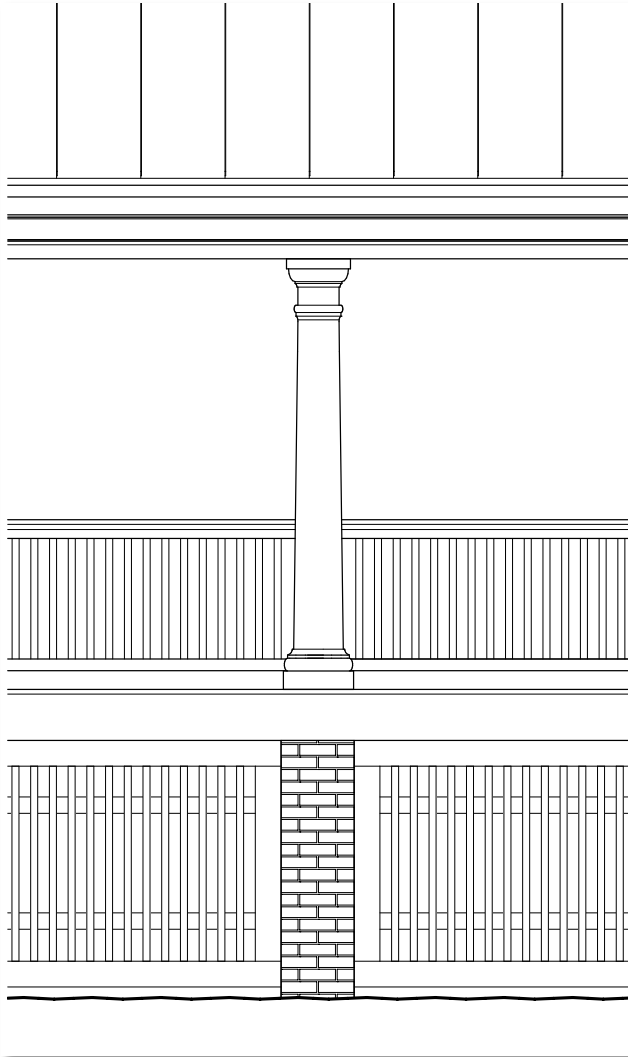
Wall base at Siding: The base of wall shall have a continuous wood or composite water table minimum 8" deep with sloped cap.

Porch roof: Porches shall have shallow roofs not exceeding 4 units in 12.

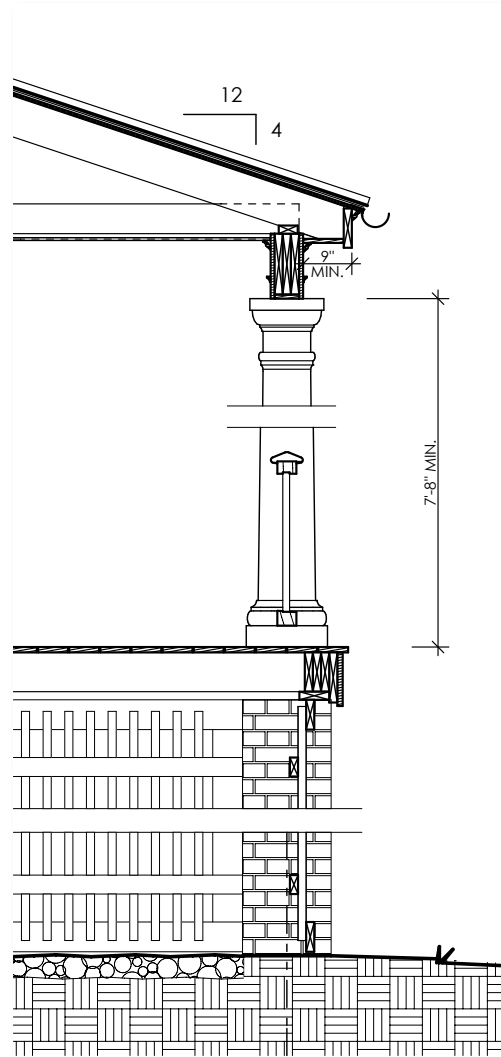
Porch piers: Porches will be supported on brick piers. Piers to be aligned with porch columns above. Wood/ composite band board must be proud of piers and be continuous at all exposed faces. Finished porch elevation shall be no less than 30" above finish grade. Space between piers must be infilled with lattice work similar to the porch elevation below. Vertical members to be 1 1/2" wide minimum spaced 3" apart. Frame lattice with 6" nominal painted wood/ composite lumber. Verticals shall be backed by two continuous horizontal members equally spaced from bottom and top of frame.

Porch beam soffit: Porch beams to be clad in painted wood or composite trim with continuous cornice and ogee/ cove trim per detail below.

6.B OFFICERS ROW DISTRICT



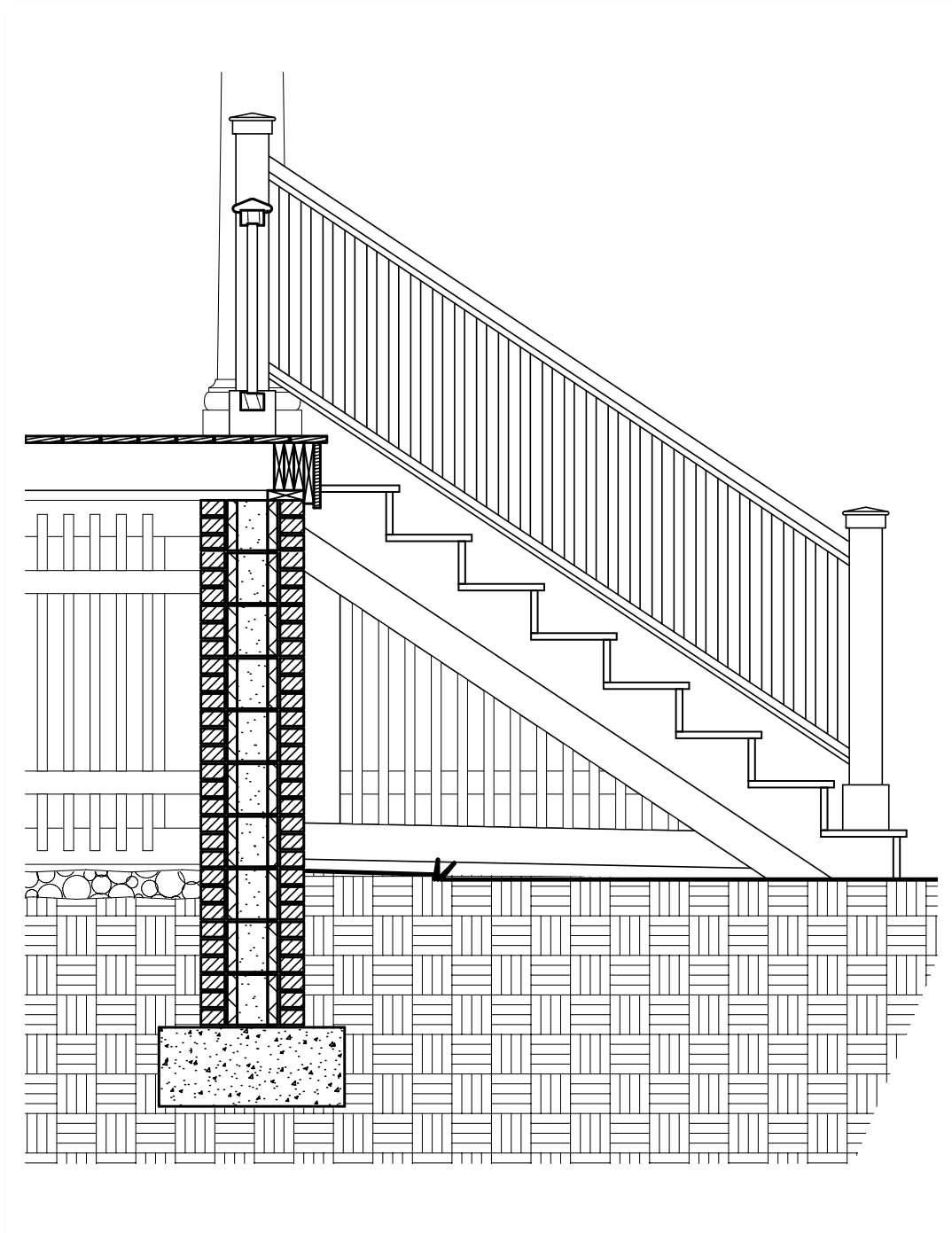
Porch Elevation



Porch Section

Porch Steps: Homes on Officers Row shall have front porches accessible by wood or composite wood steps. Rails and balusters shall conform to those described above. Newel posts to be wood, wood composite or fiberglass with decorative caps. Open sides of stairs must be infilled with lattice work as described above and pictured below.

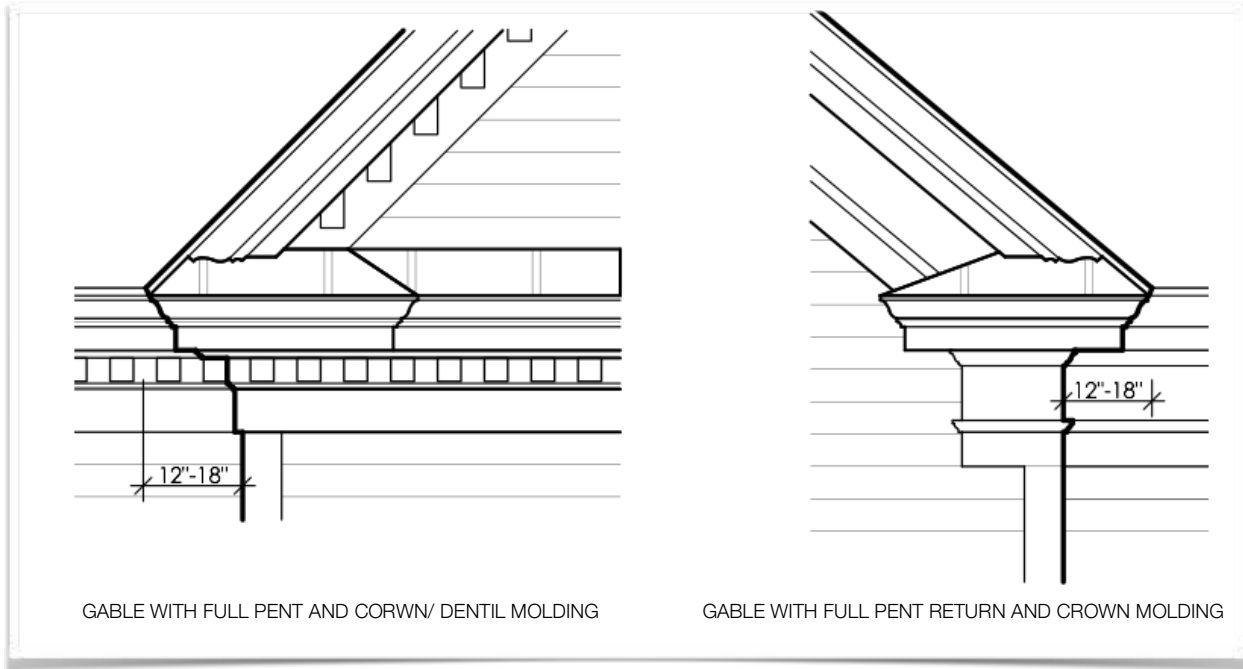
6.B OFFICERS ROW DISTRICT



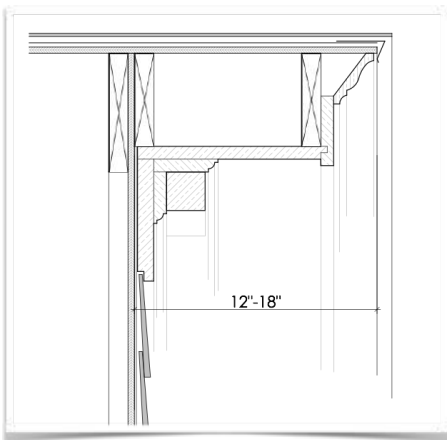
Porch Stair Elevation

6.B OFFICERS ROW DISTRICT

Main Roof: Homes on Officers Row shall have gable roofs with a minimum of 8:12 pitch. Eaves to have crown and or dentil molding similar to historic homes. Eave and gable overhangs to be 12” minimum. Gable roofs shall have a full pent roof or pent returns minimum 2’-4”. Pends and returns shall have standing seam metal or copper roofing.



Gable and Eave Elevations



Eave Detail

6.C MARINA VILLAGE DISTRICT

6.C MARINA VILLAGE DISTRICT

Today, the Marina Village District offers expansive and attractive views over the Branch Canal and the Delaware River. For much of its history, however, the area that today comprises this district was occupied mostly by marshland. Gradually, over the first decades of the early 20th-century, these wetland areas were filled to create a large level upland area bordering the southern shore of the Delaware River. Other than the construction of a Waste Water Treatment Plant in 1960 and an informal airstrip, no significant development took place within its bounds over the remainder of the century.

The Marina Village District will be developed as a new, vibrant, mixed-use neighborhood that will include a full service marina, restaurants, a hotel and conference center and apartments/condominiums. Buildings within the district will range between one and five stories in height. Because no historic buildings currently stand within the bounds of the Marina Village District, more freedom exists with regard to the design of the new structures that are to stand within it. However, these new buildings and other proposed improvements must complement and not detract from the overall historic character of the Fort DuPont Historic District. New improvements within the Marina Village District must not unduly compromise or impinge upon the setting of adjacent historic resources within the Officers Row District and the Theater District. Together new and old should blend to form a cohesive whole that respects, preserves and enhances the qualities that gives Fort DuPont its own unique sense of place.

Neighborhood design guidelines include:

1. The new marina and new buildings constructed along the edge of the Branch Canal should be sensitive in terms of design, materials, color, size and massing to the character of the branch canal and to their impact on the setting of the National Register of Historic Places-listed Delaware City Historic District. Trees and tall plantings should buffer views of the lower levels of other new buildings from within the Delaware City Historic District.
2. Buildings of more than 3 stories in height shall not be constructed within 300' of the existing southern edge of the Branch Canal. No building of greater than 5 stories in height shall be constructed within the Marina Village District.
3. A pedestrian walk should be incorporated to link the walk fronting the edge of the Branch Canal within the Canal District with a walkway along the Delaware River front. Walkway paving, lighting, seating, railings and other "street furniture" shall be compatible with the character of the branch canal and the Fort DuPont Historic District.
4. Trees and tall plantings should buffer views of the lower levels of new buildings and parking areas from within the Officers Row District, Theater District and Parade Ground.
5. Existing open view sheds along the eastern edge of the district extending from the Officers Row District and the Theater District to the Delaware River should be maintained.
6. All buildings should be oriented towards a street, the Delaware River or the Branch Canal. Buildings should be fronted by concrete sidewalks along all street frontages and set back at least 15 feet from the curb.
7. Because the Marina Village Historic District was previously undeveloped and because it lies outside of the central core of the Fort DuPont Historic District, it offers a greater opportunity for the construction of new buildings larger than those found elsewhere within

6.C MARINA VILLAGE DISTRICT

the Historic District. However, careful consideration needs to be given to the size and massing of new buildings. Large, flat facades and solid, rectangular blocks are to be avoided and should be broken up by projecting elements. The goal of this is not to mimic the rhythm of a commercial or residential streetscape but rather to reduce the impact of building massing on the streetscape, skyline and landscape. The order, symmetry, rhythm and massing of the Fort DuPont's Barracks buildings, both extant and lost, should provide a model and inspiration for large building design.

8. Similarly, large and bulky hipped or end-gabled rooflines and roof planes should be avoided or should be broken up by projecting cross gables, dormers and other features. Primary roofs should be front-gabled, side-gabled, cross-gabled or hipped. Flat roofs are not permitted. Blank gables are also discouraged; all gables should contain some manner of fenestration. Appropriate window types are discussed below.

Color:

New buildings in the Marina Village District shall conform to the following color selections:

Trim: Exterior trim shall be white or off white. Exterior trim shall include rakes, fascia, soffits, columns, window/ door casing and trim, porch rim boards, beam soffits, cornices, rakes, etc.

Siding: Exterior siding shall be selected from the colors set forth in Exhibit C. Colors outside of the palette in Exhibit C will be subject to review and approval of the Board or its appointed committee.

Front Doors and Shutters: Exterior doors and shutters shall be of a contrasting color to the brick or siding. Colors shall be dark paint or stain. See section below for window, shutter and door styles.

Exterior Brick: Exterior brick to be red/ brown range and can be either flashed or non-flashed.

Roofing: Shingle roofs to be GAF Slateline Weathered Slate or Timberline Slate or comparable style and color. Light colors are preferred on buildings of greater than 2.5 stories in height. Standing seam metal roofs to be unfinished natural copper or terne metal.

Gutters and Downspouts: White, Off-white, dark bronze or unfinished natural copper.

Fencing: Black for metal fencing, or white for wood fencing.

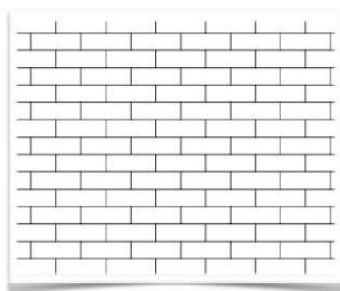
Materials:

Buildings of less than 2.5 stories in height in the Marina Village District shall utilize either brick or pre-finished or painted fiber-cement siding. Buildings of greater than 2.5 stories in height shall utilize brick on the first story and pre-finished or painted fiber-cement siding on all other levels. Wood shakes, wood shingles or an approved simulated facsimile may be utilized as ornamental siding within gables.

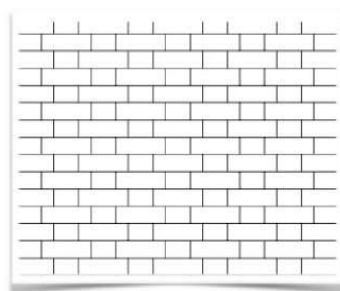
6.C MARINA VILLAGE DISTRICT

Exterior Brick: Bonding to be Running Bond, Common Bond, Common Flemish bond or English Cross bond.

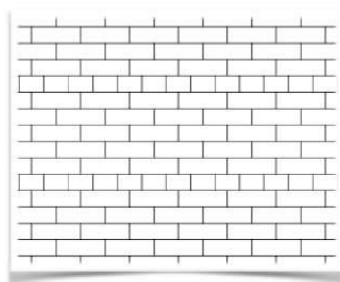
Brick selection examples:



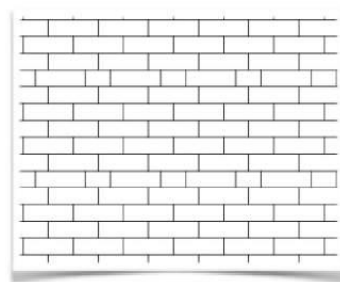
Running Bond



Flemish Bond



Common Bond



English Bond

Siding: Exterior siding shall be pre-finished or painted fiber-cement with smooth finish or wood. Siding lap to be 6" shiplap. Vinyl siding to be minimum of 0.46" thick. Wood shakes, wood shingles or an approved simulated facsimile may be utilized as sheathing within gables.

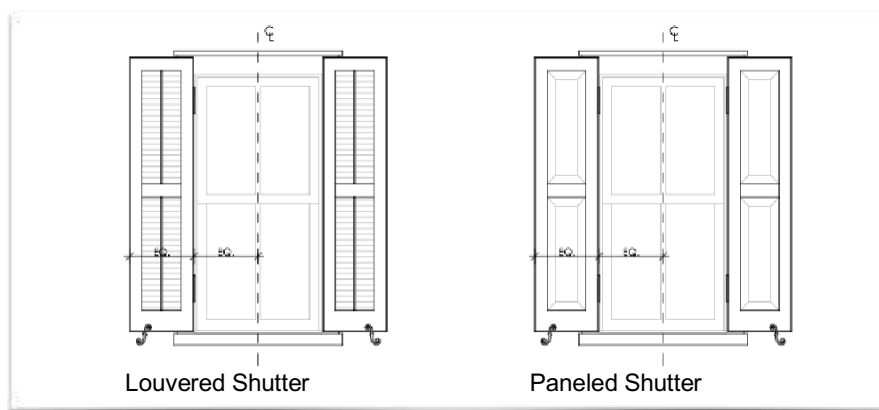
Roofing: Asphalt architectural style shingles to be GAF Slateline Weathered Slate or Timberline Slate or comparable style and color, pre-finished standing seam metal roofs, copper or terne metal.

Foundations: Exposed foundations walls must be veneered with brick, concrete stucco parged or dressed stone consistent with historic examples. Exposed concrete and masonry foundation walls shall be parged below siding to grade. Where facades have brick veneer, the veneer shall extend to minimum 8" below finish grade as depicted in the brick water table detail above.

Shutters: Shutters are not required on any buildings within the Marina Village District and are not permitted on buildings of greater than 2.5 stories in height. If utilized on buildings of less than 2.5 stories in height, they should be painted wood, painted composite lumber or approved vinyl. Shutter style to be paneled or louvered. Paneled shutters should be utilized on the first floor. Louvered shutters are appropriate for upper stories. Shutters may be operable or mounted as if to be operable with visible hinges, encouraged but not required. Shutter dogs are optional but preferred. The width of each paired shutter shall be 50% of the width of the window.

6.C MARINA VILLAGE DISTRICT

Shutter Types:



Windows: More flexibility with regard to window design is permitted within the Marina Village District than in other areas within the Fort DuPont Historic District. Windows on residential buildings and on the third, fourth and fifth floors of mixed use, commercial or office buildings shall closely resemble historic window styles and proportions found elsewhere within the Fort DuPont Historic District on existing historic buildings or in photographs of no longer extant structures. The fenestration patterns and window types utilized historically on Fort DuPont's barracks buildings would be appropriate models for buildings of greater than 2.5 stories in height. Smaller multi-pane double hung and single hung windows along with square, octagonal, round and half round casements and Serlian/Palladian windows are all appropriate for use in gables.

Sashes are to be true divided lites or simulated divided lites with solid spacers between muntins and shadow bars. Applied muntins with shadow bar would be acceptable. Basement and accent windows can be casement or awning style. Window fixtures utilized on the first and second stories of mixed use, commercial or office buildings shall not be obtrusive or strongly incompatible with the character of the Fort DuPont Historic District and shall be subject to the review and approval of the board. No windows shall be permitted that will extend more 75% of the distance from floor to ceiling on any level of a building nor will windows be permitted that exceed a full story in height.

Windows within siding shall have trim to be nominal 4" wide minimum at head and jambs with sloping sill. Sill profile to be minimum 1 1/2" tall. Acceptable trim materials are painted wood, wood composite, vinyl or fiber-cement. Windows in brick facades shall have brick jack arch or segmental arch heads. Window sills to be sloped cast stone, minimum 5" high. Cast stone to be wet cast, no dry tamped cast stone permitted.

Exterior Doors: Entry doors to residential buildings are to resemble historic styles as shown below. Door lights to be true divided lites or simulated divided lites with solid spacers between muntins. Transoms and sidelines not required but encouraged. Full lite sliding glass doors are not permitted. These design guidelines do not apply to doors leading from garage spaces or covered parking areas to the interior of buildings. Flexibility is permitted with regard to exterior doors on mixed use, commercial or office buildings but they shall not be obtrusive or strongly

6.C MARINA VILLAGE DISTRICT

incompatible with the character of the Fort DuPont Historic District and shall be subject to the review and approval of the board. Single lite glass doors, revolving doors and solid metal or wood doors without lites or panels are not acceptable on any street or public facing façade.

Doors within siding shall have trim to be nominal 4" wide minimum at head and jambs. Provide solid matching trim below. Doors in brick facades shall have brick jack arch or segmental arch heads. Door sills to be cast tone, minimum 7 ¾" high. Cast stone to be wet cast, no dry tamped cast stone permitted.

Trim: Exterior trim shall include rakes, fascias, soffits, columns, window/ door casing and trim, porch rim boards, beam soffits, cornices, rakes, etc. Trim materials to be painted wood, wood composite, fiber-cement or molded millwork.

Roof overhang soffits/porch soffits: Stained or painted tongue and groove wood/ composite wood and fiber-cement. Vinyl and aluminum soffits are not permitted.

Painted wood or fiberglass or molded millwork. Minimum 8" diameter round or 10" square. Round column shafts to be plain tapered, non-fluted. Square columns to be non-tapered, plain, no flutes or panels. All column types must have base trim and capital with neck trim 7"-10" from bottom of capital. Profiles shall conform with historic profiles.

Railings: Straight or turned balusters, maximum spacing 4" on center. Rail and balusters to be painted wood or wood composite. No vinyl rails permitted. Top and bottom rail to be minimum 4" high and 3" deep. Bottom rail to be minimum 2" high and 3 1/2" deep. Two inch diameter pipe rail is permitted so long as it reflects the original pipe rail design.

Gutters: Half-round pre-finished aluminum, half-round copper or concealed gutters.

Downspout: Round/ round corrugated pre-finished aluminum or round copper

Fencing: Materials shall be aluminum, wrought iron, wood or composite pickets. Fences, whether decorative or for security, shall not exceed 48" in height. Metal fence posts shall have round or spear finials or wood caps for wood fences. Wood fence posts to be minimum 4x4 with decorative spear-top or wood cap and be centered on the fence, both visible and unobstructed from both sides. Distance between fence posts not exceed 6'. Chain link fencing and solid panel fencing is not permitted within the district.

Parking: Perpendicular or angled street parking is to be provided along public streets wherever possible. Parking areas consisting of more than a single row of parking spaces along a public street shall be classified as a parking lot and shall be enclosed by a fence, screened from street view by hedge plantings and shaded by deciduous trees. All vegetation and plant varieties should be appropriate to the character of the historic district. Large multi-space parking areas visible from outside of the Marina Village Historic District are discouraged. Multiple parking areas of a smaller size are preferred to larger, more expansive lots.

Signage: Commercial and office buildings may have freestanding, flush mounted, window or awning signs. Freestanding signs along street frontages may not be greater than four feet in height and should be placed in such a manner so as not to clutter the streetscape and to be

6.C MARINA VILLAGE DISTRICT

easily viewable both from vehicles and by pedestrians. The size of flush mounted, window and awning signs should be commensurate and proportional to the size of the building to which it applies. No neon or internally lighted signs are permitted. Sign lighting should be indirect from above or below and should not light an excessive area beyond the limits of the sign. Multi-unit residential buildings should be identified both by freestanding signs at the street and by flush mounted signs nears the building's primary entrance. Upon review and approval by the board, free standing signs and signs mounted on fences may be approved for other purposes including the designations of reserved parking areas. All free standing marina signage oriented towards boat traffic shall be subject to the approval of the boards and shall be less than 10 feet in height. All street and wayfinding signage should be consistent with types historically in use throughout the Fort DuPont Historic District.

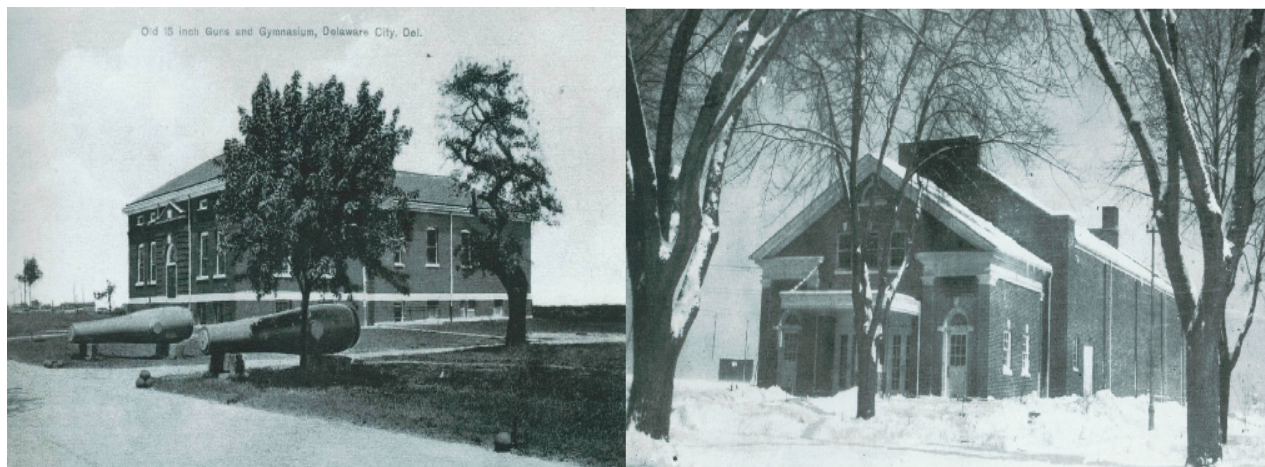
Sidewalks: Concrete sidewalks should extend along all public street frontages. The primary entrance to all buildings shall be accessed from the street and sidewalk via concrete walks and steps as needed. Texture as needed for slip resistance.

Lighting: Street light, walkway and parking lot lighting should be limited to down cast lighting on poles not exceeding 20' in height. All lighting fixtures should be downcast and of the cutoff/fully shielded variety. Building mounted downcast floodlights are permitted provided that they are fully shielded and mounted at a height of 20' or less. Upcast floodlights shall not target building walls or signage above the first floor level and 90% of their light must be directed at the target surface.

Other Structures: Multi-level vehicle parking structures shall not be permitted within the Marina Village Historic District. Flag poles, communication towers or other secondary structures of greater than five stories in height shall not be permitted.

6.D THEATER DISTRICT

6.D THEATER DISTRICT



At the head of the Parade Ground directly opposite the flagpole are the Post Exchange (PX) and War Department Theater. The PX is significant for the central role it played in the lives of soldiers at Fort DuPont throughout the fort's history. The PX featured facilities soldiers could use in their off hours for relaxation, including a lounge, gymnasium, bowling alley, and meeting and recreational rooms. The War Department Theater is a brick structure constructed in 1933 and was designed to show movies to soldiers stationed at the fort and became a center of life for both the fort and Delaware City. The interior remains intact, including the projectors in the projection room.

The PX and War Department Theater will be rehabilitated and modernized. The 390-seat theater will be configured for movies, live theater, and music. The PX will be converted into multi-use building that will provide event space and a restaurant, pub and banquet hall. Behind the two primary buildings, toward the river, open space is set aside for recreational purposes, concerts in the park, outdoor festivals, and special events. Limited new construction is envisioned for the Theater District. Plans are underway for a new performance stage designed to support outdoor music and theater. Smaller buildings may also be constructed to facilitate recreational activities and event use.

As development of this district evolves, it will be important to embrace the historical significance and character of this area, its prominence at the head of the parade ground and its strategic location near the Delaware River.

6.D THEATER DISTRICT

Neighborhood design guidelines include:

1. Retain the historic Maple Boulevard entrance to the theater.
2. Existing Theater Building shall be preserved to the greatest extent possible.
3. Existing PX Building shall be preserved to the greatest extent possible.
4. New additions and changes to existing historic buildings shall be sympathetic in design, materials and detailing but shall be readily distinguishable from surviving historic fabric.
6. New additions to historic buildings shall be subordinate in size and scale.
7. Existing views and vistas across the northern part of the district towards the Delaware River shall be preserved and reinforced..
8. Open space shall be preserved for recreation and event use.
9. Recreational grounds shall be permitted to accommodate permanent and temporary stage structures. Design of permanent stage subject to Board approval.

Color:

Trim: Exterior trim shall be white or off-white. Exterior trim shall include rakes, fascias, soffits, columns, window/ door casing and trim, porch rim boards, beam soffits, cornices, rakes, etc.

Siding: Exterior siding shall be selected from the colors set forth in Exhibit C. Colors outside of the palette in Exhibit C will be subject to review and approval of the Board or its appointed committee. Color selected cannot be the same as the lot adjoining or directly across the street.

Front Doors and Shutters: Exterior doors and shutters shall be of a contrasting color to the brick or siding. Colors shall be dark paint or stain. See section below for window, shutter and door styles.

Exterior Brick: Exterior brick to be red/ brown range and can be either flashed or non-flashed.

Roofing: Shingle roofs to be GAF Slateline Royal Slate or Timberline Slate or comparable style and color. Standing seam metal roofs to be, unfinished natural copper, terne metal or black.

Gutters and Downspouts: White, Off-white, dark bronze or unfinished natural copper.

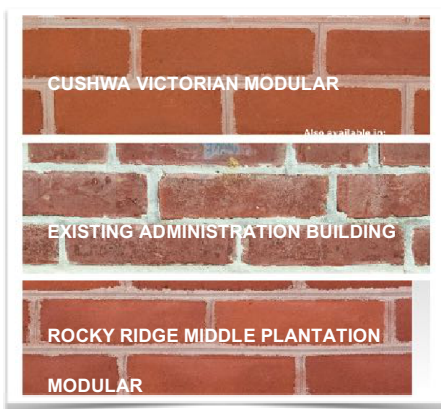
Fencing: Black for metal fencing, or white for wood fencing.

6.D THEATER DISTRICT

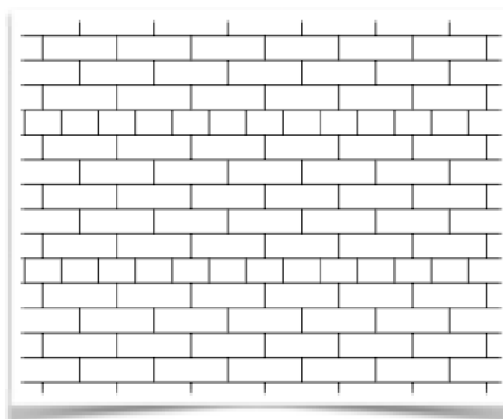
Materials:

Buildings in Theater District shall utilize the following exterior materials.

Exterior Brick: Exterior brick shall be modular size, molded units. Bonding to be Common bond match existing homes. See window and door diagrams for brickwork and cast stone at head and sills.



Brick selection examples



Common Bond

Siding: Exterior siding shall be selected from the colors set forth in Exhibit C. Colors outside of the palette in Exhibit C will be subject to review and approval of the Board or its appointed committee. Color selected cannot be the same as the lot adjoining or directly across the street.

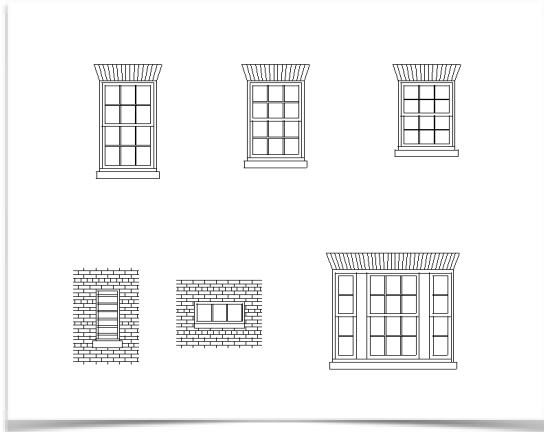
Roofing: The primary roofs of new buildings shall be 8.5:12 pitch. Asphalt architectural style shingles to be GAF Slateline, pre-finished standing seam metal roofs, slate or slate designed composite.

Foundations: Exposed foundations walls shall be either parged or veneered with brick. Brick shall be continuous and in plane with brick above.

Gable Vents: Gable vents shall be painted wood, painted composite lumber or prefinished aluminum.

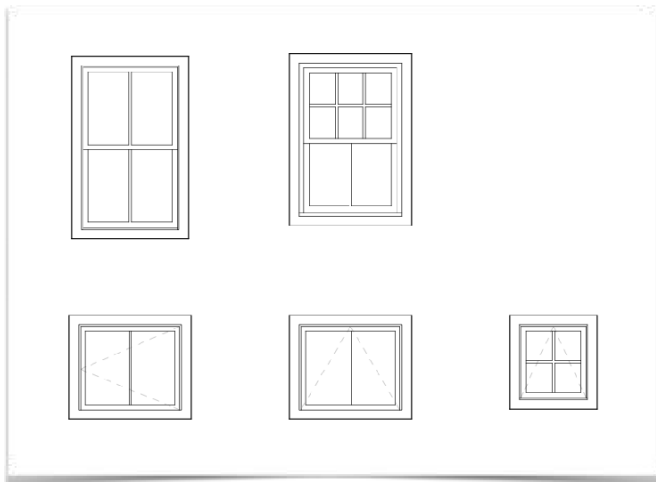
Windows: Windows shall closely resemble historic window styles and proportions as shown below and be compatible with existing buildings in the Theater District, including sashes to be true divided lites or simulated divided lites with solid spacers between muntins and shadow bars. Applied muntins with shadow bar would be acceptable. Window types shall be predominantly single/double hung at first and second floor levels. Patio and vestibule windows can have narrow flanking units or round head transoms. Basement windows to be casement or awning windows. Window units to be wood or clad wood frames and sashes. Windows in the Theater District shall not have shutters.

6.D THEATER DISTRICT



Windows with brick above shall have brick jack arch or segmental arch heads. Window sills to be sloped cast stone, minimum 5” high. Cast stone to be wet cast, no dry tamped cast stone permitted.

Gable Vents: Gable vents to be painted wood or pre-finished aluminum with precast sill. Vents shall be in pairs on either side of the chimney. See typical vent elevation and gable end details.



Windows within siding shall have trim to be nominally 6” wide minimum at head and jambs with sloping sill. Sill profile to be minimum 1 1/2”. Acceptable trim materials are painted wood, PVC composite or fiber-cement.

6.D THEATER DISTRICT

Trim: Exterior trim shall include rakes, fascias, soffits, columns, window/ door casing and trim, porch rim boards, beam soffits, cornices, rakes, etc. Trim materials to be painted wood, wood composite, fiber-cement or molded millwork.

Roof overhang soffit/ porch soffit: Stained or painted tongue and groove wood/ composite wood and fiber-cement. Vinyl and aluminum soffits are not permitted.

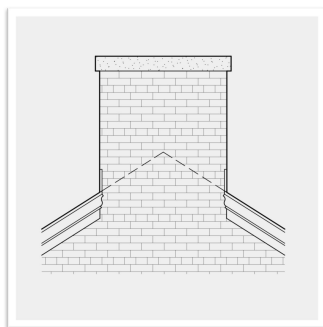
Columns: Painted wood or fiberglass or molded millwork. Minimum 8” square column shafts to be plain non-tapered, non-fluted. Profiles shall conform with historic profiles per elevations below.

Railings: Straight or turned balusters, maximum spacing 4” on center. Rail and balusters to be painted wood or wood composite. No vinyl rails permitted. Top and bottom rail to be minimum 4” high and 3” deep. Bottom rail to be minimum 2” high and 3 1/2” deep. Two inch diameter pipe rail is permitted so long as it reflects the original pipe rail design.

Gutters: Gutters shall be half-round to match existing homes. Gutter material to be pre-finished aluminum or galvanized steel.

Downspout: Downspouts to be round or round corrugated pre-finished aluminum or galvanized steel.

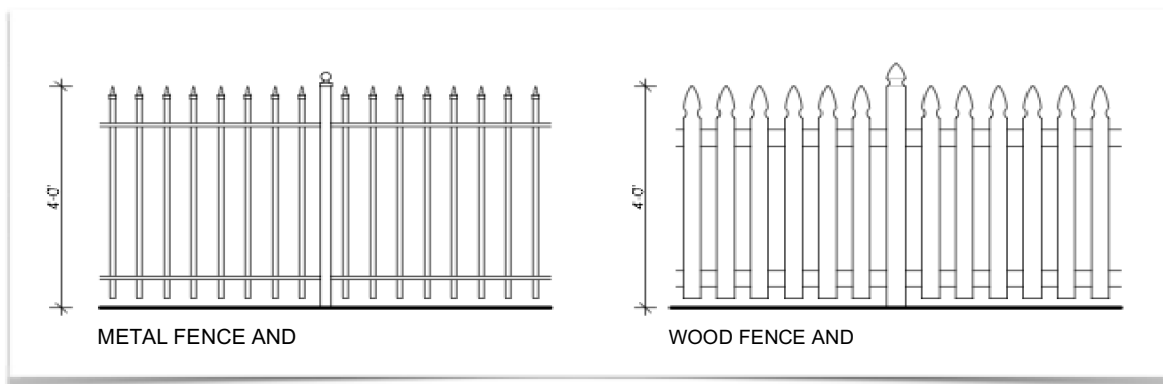
Chimneys: Chimneys shall be brick veneer over wood frame or solid masonry. No cantilevered direct vent fireplaces are permitted. Fireplace and chimney shall be located at the gable ends and interrupt the rake trim. Chimneys to be straight with no projections with exception of the cast stone cap, see chimney elevation (right). Flues shall not be visible from street level and should have a cement wash at the top.



Chimney elevation

6.D THEATER DISTRICT

Fencing: Aluminum, steel, wrought iron, composite or picket wood. Maximum 48” high. Styles as shown. Metal fence posts in the Quartermaster District to have round or spear finials. Wood fence posts to be minimum 4x4 with spear-top or wood cap. Wood fence posts to be centered on the fence visible and unobstructed from both sides. Distance between posts not to exceed 6’.



Fence elevations

Utilities: All utilities shall be buried. As feasible, any required above ground infrastructure shall be screened by fenced enclosures, contained within secondary structures, or designed and colored to be as compatible as possible with the historic character of the Theater District.

Sidewalks: Concrete sidewalks should extend along all public street frontages. The primary entrance to all buildings shall be accessed from the street and sidewalk via concrete walks and steps as needed. Concrete sidewalks should be internally dyed to best resemble aged concrete with smooth finish and eased edges. Texture as needed for slip resistance.

Lighting: Permanent street light, walkway and parking lot lighting should be limited to down cast lighting on poles not exceeding 18’ in height. Street lighting shall be of a type similar to the existing pendant street lamp at the intersection of Coulter Road and Sussex Avenue. All lighting fixtures should be downcast and of the cutoff/fully shielded variety. Building mounted downcast floodlights are permitted provided that they are fully shielded and mounted at a height of 12’ or less. Upcast floodlights are permitted but 90% of their light must be directed at the target surface.

6.E QUARTERMASTER PLACE DISTRICT

6.E QUARTERMASTER PLACE DISTRICT

South of the Post Exchange and east of the Barracks District is an area that was originally developed with a variety of small support buildings. Three large wood- sided barracks buildings were originally located on the west side of Maple Ave (formerly Sussex Avenue) in this area, constructed about 1900, but were demolished in the 1970s.

In 1933, four high-quality brick duplexes were constructed here as housing for non-commissioned officers. All of these survive and will be renovated and sensitively modernized for continuing residential use. Only two of the small support buildings survive the Quartermaster's Warehouse and Quartermaster's Office, which has been rehabilitated for offices by the Fort Delaware Society. Limited new residential infill development is proposed for the Quartermaster Place District.



Character-defining features of this district include:

1. The eastern end of the district is occupied by small, open fields bounded by broken tree lines. The western end of the district is occupied by a grid of narrow paved streets, situated east of Maple Avenue. The rudimentary street network defined block areas for support buildings, some of which have small curbs and narrow sidewalks.
2. Three, evenly spaced NCO duplexes are located at the north end of the street grid while one NCO duplex occupies a lot located in the grid's southeastern corner. All of the duplexes display equally formal fronts and rear elevations.
3. The extant and no longer extant support buildings featured wood frame construction and ranged between one and two stories in height. They were of various sizes and configurations as befitted their varying uses.
4. Large deciduous canopy trees line both sides of Maple Avenue and shade the lots the vicinity of the NCO residences.

6.E QUARTERMASTER PLACE DISTRICT

Neighborhood design guidelines include:

1. New residential construction could consist of duplex units fronting Staff Lane.
2. New residential construction should primarily be of brick.
3. New residences should feature, end gabled roofs covering the primary block and rectangular massing in keeping with the existing NCO duplexes.
4. Each duplex shall be symmetrically flanked on each end wall of the its main block by an attached single-story sunroom/enclosed porch or a single-bay attached garage.
5. New residential buildings shall have primary blocks of no more than six bays in width (three bays per single residential unit).
6. All new residential construction shall front Staff Lane.
7. Building setbacks should match those of the existing NCO duplexes.
8. New buildings should be sited on lots fronting the existing street grid. Front and rear building elevations should be parallel to the street line..
9. New residential construction should, in both form and detailing, reflect the stripped down “Federal revival” detailing of the existing duplexes.
Frame construction may be appropriate for non-residential buildings and secondary structures. Building massing and detailing for those buildings should reflect the simple utilitarian character of the support buildings that were formerly found throughout this area.
10. New non-residential construction is permitted on lots fronting Warehouse Road and Exchange Road only.
11. New construction must be elevated on fill or brick piers if the building lots are situated within the flood plain. If residential buildings are constructed on brick piers, the open spaces along the perimeter of the buildings between the piers shall be screened by red/brown painted/colored latticework or other appropriate and compatible architectural detailing to convey the appearance of a full foundation. Such latticework or detailing shall be constructed to be “breakaway” or to otherwise not unduly or improperly restrict the flow of flood waters.
12. The scale and architectural character of new buildings in this district should relate to the functional character of the remaining historic buildings.
13. Consider the use of projecting eaves, crown moldings, fan lights and other architectural details that draw inspiration from existing historic structures.
14. New construction should take in to account that most lots face multiple streets. Buildings on these lots should exhibit the same level or architectural detailing both front and rear elevations similar to existing historic structures in the district.
15. Missing or unhealthy street trees should be replaced based on cultural landscape survey and plant palette.
16. New site features such as stairs and curbing should be simple straight forward design construction of durable and functional materials consistent with historic designs.
17. New buildings in this district as well as infill construction should complement historic patterns of development.
18. All new construction within the western part of the district should be oriented to existing streets.

6.E QUARTERMASTER PLACE DISTRICT

19. New construction within the district shall be limited to a height of 3 stories. Buildings in the eastern half of the district may be constructed to support the intended recreational uses but shall be no more than a single story in height.

Color:

Exterior color options in the Quartermaster District shall be as follows:

Siding: Exterior siding shall be selected from the colors set forth in Exhibit C. Colors outside of the palette in Exhibit C will be subject to review and approval of the Board or its appointed committee. Color selected cannot be the same as the lot adjoining or directly across the street.

Trim: Exterior trim shall be colored or painted white or off-white.

Front Doors: Exterior doors shall be white or off white to match existing homes. See section below for window, shutter and door styles.

Exterior Brick: Exterior brick to be red/ brown range similar to flashed brick used on site.

Roofing: Shingle roofs to be GAF Slateline Royal Slate. Standing seam metal roofs to be bronze or black.

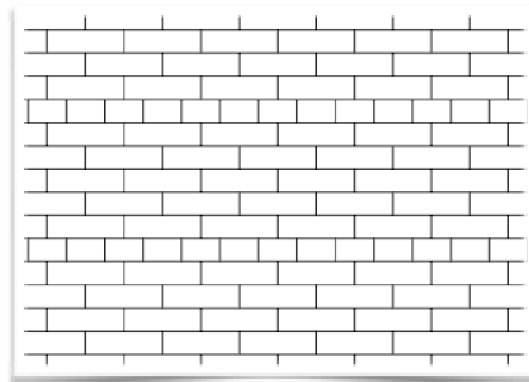
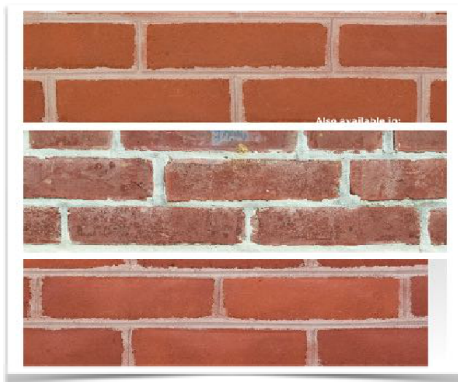
Gutters and Downspouts: White, Off-white, uncoated copper or bronze/black to match roof.

Fencing: Black metal fencing or white for wood fencing.

Materials:

Buildings in Quartermaster District shall utilize the following exterior materials.

Exterior Brick: Exterior brick shall be modular size, molded units. Bonding to be common bond match the masonry of the existing homes. See window and door diagrams for brickwork and cast stone at head and sills.



6.E QUARTERMASTER PLACE DISTRICT

Siding: Exterior siding shall be pre-finished or painted wood or fiber-cement. Siding lap to be 6” clapboard with 4” reveal. No aluminum or vinyl siding permitted.

Roofing: Main roof shall be 8.5:12 pitch. Asphalt architectural style shingles to be GAF Slateline, pre-finished standing seam metal roofs, or slate.

Foundations: Exposed foundations walls shall be constructed of exposed brick or covered with brick veneer. On brick buildings, foundation brick shall be continuous and in plane with brick above.

Gable Vents: Gable vents shall be painted wood, painted composite lumber or prefinished aluminum.

Windows: Windows shall closely resemble historic window styles and be compatible with existing buildings in the Quartermaster District, including sashes to be true divided lites or simulated divided lites with solid spacers between muntins and shadow bars. Applied muntins with shadow bar would be acceptable. Window types shall be predominantly single/double hung at first and second floor levels. Six over six windows are preferred as the primary window type for new duplex residences. Patio and vestibule windows can have narrow flanking units or round head transoms. Basement windows to be casement or awning windows. Window units to be wood or clad wood frames and sashes. Windows in the Quartermaster District shall not have shutters.

Exterior Doors: Entry doors to resemble historic styles as shown below. Door lights to be true divided lites or simulated divided lites with solid spacers between muntins. Door material to be painted wood or pre-finished fiberglass. No metal exterior doors permitted. Sample elevation provided below.

Patio Doors: Patio doors to resemble historic styles with full or partial lites. Door lights to be true divided lites or simulated divided lites with solid spacers between muntins. Door material to be painted wood or pre-finished fiberglass. No metal exterior doors permitted. Sample elevation provided below. Straight head doors shall have shaped brick jack arch heads. Half-round transoms shall have segmented brick arches with cast stone keystones.

Trim: Exterior trim shall include rakes, fascias, soffits, columns, window/ door casing and trim, porch rim boards, beam soffits, cornices, rakes, etc. Trim materials to be painted wood, wood composite, fiber-cement or molded millwork.

Roof overhang soffit/ porch soffit: Stained or painted tongue and groove wood/ composite wood and fiber-cement. Vinyl and aluminum soffits are not permitted.

6.E QUARTERMASTER PLACE DISTRICT

Columns: Painted wood or fiberglass or molded millwork. Minimum 8” square column shafts to be plain non-tapered, non-fluted. Profiles shall conform with historic profiles per elevations below.

Railings: Straight or turned balusters, maximum spacing 4” on center. Rail and balusters to be painted wood or wood composite. No vinyl rails permitted. Top and bottom rail to be minimum 4” high and 3” deep. Bottom rail to be minimum 2” high and 3 1/2” deep. Two inch diameter pipe rail is permitted so long as it reflects the original pipe rail design.

Gutters: Gutters shall be half-round to match existing homes. Gutter material to be pre-finished aluminum, copper or galvanized steel.

Downspout: Downspouts to be round or round corrugated pre-finished aluminum, uncoated copper or galvanized steel.

Shutters: Shutters are not recommended for buildings within the Quartermaster Place District.

Chimneys: Chimneys shall be brick veneer over wood frame or solid masonry. No cantilevered direct vent fireplaces are permitted. Fireplace and chimney shall be located at the gable ends and interrupt the rake trim. Chimneys to be straight with no projections with exception of the cast stone cap, see chimney elevation (right). Flues shall not be visible from street level and should have a cement wash at the top.

Architectural Details:

Quartermaster District shall be detailed in conformance with the existing structures, similar but not limited to the following details for porches, eaves, rake trim, chimneys and gables.

Front or Rear Façade Porch/Sun room roofs: Porches and sunrooms shall have shallow hip roofs not exceeding 3 units in 12. Roofs may be curved to match existing entry roofs.

Main roof: Homes in the Quartermaster District shall have gable roofs with a minimum of 8:12 pitch. Eaves to have crown molding similar to historic homes. Eaves to have 12” minimum overhang. Gable roof rake trim and crown shall overhang minimum 8”, see details below. Fascias shall be crown molding to emulate existing historic homes in the district.

Gable vents: Gable end walls shall have gable vents to match vents of existing homes in the district. Vents shall be aligned to each face of the chimney above. Sills to be cast stone.

Utilities: All utilities shall be buried. As feasible, any required above ground infrastructure shall be screened by fenced enclosures, contained within secondary structures, or designed and

6.E QUARTERMASTER PLACE DISTRICT

colored to be as compatible as possible with the historic character of the Quartermaster Place District.

Sidewalks: Concrete sidewalks should extend along all public street frontages. The primary entrance to all buildings shall be accessed from the street and sidewalk via concrete walks and steps as needed. Concrete sidewalks should be internally dyed to best resemble aged concrete with smooth finish and eased edges. Texture as needed for slip resistance.

Lighting: Street light, walkway and parking lot lighting should be limited to down cast lighting on poles not exceeding 18' in height. Street lighting shall be of a type similar to the existing pendant street lamp at the intersection of Coulter Road and Sussex Avenue. All lighting fixtures should be downcast and of the cutoff/fully shielded variety. Building mounted downcast floodlights are permitted provided that they are fully shielded and mounted at a height of 12' or less. Upcast floodlights shall not target building walls or signage above the first floor level and 90% of their light must be directed at the target surface.

Garages, Driveways and Parking: New residential duplexes may include a single bay, single story attached garage on the gable end wall of duplex units. These garages shall reflect in scale, massing and detailing the one-story, enclosed porches found on the end walls of the existing NCO duplex residences. A duplex may have a garage on each end walls or a porch on each end wall but not a garage on one end wall and a porch on another. Attached garages shall be constructed of brick and shall include windows on the side and rear elevations. Driveways shall extend straight and perpendicular from Staff Lane or Exchange Place. No driveways may open onto Maple Avenue. No driveways of greater than fifteen feet in width are permitted. Driveways may be plain concrete slab or gravel. Asphalt, concrete block, brick or Belgian block paved driveways are not permitted. The existing historic NCO Duplexes shall not be permitted to have garages but shall be permitted to have a single driveway extending perpendicular from Staff Lane or Exchange Place to the side of each unit.

Sheds: Sheds or secondary buildings on residential lots are not permitted.

6.F BARRACKS DISTRICT

6.F BARRACKS DISTRICT

The Barracks District, bounded by Old Battery Lane and Colter, Maple and Oak Lane, contains many surviving historic resources. The most imposing of these are the two large brick barracks buildings, built in 1939 and 1940 that face the Parade Ground. The larger of these two buildings has housed the Governor Bacon Health Center since its founding in 1946. The remaining buildings within the district primarily consist of much smaller brick and frame structures erected in the first decade of the 20th-century to serve as quarters for commissioned and non-commissioned officers and specialized base staff.

The Barracks District will serve as a campus for public organizations and private companies providing services in the fields of technology, environmental management, healthcare, education and professional occupations. Office space will be available in new buildings and rehabilitated historic structures throughout the district. New construction will primary be limited to new office buildings constructed **along** the east side of Colter Avenue and to additions made to existing historic buildings.



Character-defining features of this district include:

1. A bi-axial orientation focused on Colter and Old Battery Lane. Larger buildings front Colter Avenue while a more numerous row of much smaller residential buildings fronts Old Battery Lane.
2. The two large brick barracks buildings form a formal enclosing edge to the neighboring Parade Ground. The repeating rhythm of the barracks buildings and their colonnaded two story central porches reinforces and emphasizes the effect of a diminishing perspective along the eastern edge of the Parade Ground..
3. Unbroken rows of deciduous shade trees lining both sides of Colter Avenue and Old Battery Lane.
4. Concrete sidewalks extend along the length of Colter Avenue and the developed sections of Old Battery Lane. The wide setback between the street curb and the sidewalk along Old Battery Lane is a distinctive character defining feature.
5. Military brick architecture with stripped down “Georgian revival” and “Federal revival” detailing visually predominates.

6.F BARRACKS DISTRICT

Neighborhood design guidelines include:

1. All new construction will front Colter Avenue and shall be situated to the south of Hall Road.
2. New buildings shall be set back from the street edge the same distance as the existing barracks buildings. The sites of new buildings shall be filled/graded to reflect the elevation and profile of the lots occupied by the existing barracks buildings. The sloping grade from building foundation to sidewalk edge shall be replicated.
3. New construction shall reflect the massing, footprints, scale and design/detailing of the existing barracks buildings.
4. In plan and elevation, new buildings shall reflect the architecture of the existing barracks buildings. New buildings shall be 2.5 stories in height and shall feature two, parallel front-gabled wings connected by a “hyphen.” The central hyphen shall be fronted by a two-story porch feature Doric columns or brick piers accented by simplified Doric detailing. Metal railings shall extend between the columns or piers.
5. All new buildings shall feature brick or brick-veneered exterior walls.
6. Maintain the historic concrete walkways in width and alignment.
7. Buildings of greater than 3 stories in height shall not be permitted within the Barracks District.
8. New additions and renovations shall be in keeping with the style and material of the existing building. New additions shall be readily distinguishable from the existing fabric of the historic structure
9. Consider new construction on the rear or side of buildings for small additions like elevators, stairways, or incidental building components required to make a building work for its new use.
10. Carports would be permitted behind buildings so long as they are enclosed on the sides, do not permit other uses, and incorporate materials and design considerations provided for in this district.
11. New materials shall complement existing buildings.
12. New site features such as stairs and curbing should be simple straight forward design construction of durable and functional materials consistent with historic designs.



Color:

6.F BARRACKS DISTRICT

Exterior color options in the Barracks District shall be as follows:

Siding: Exterior siding shall be selected from the colors set forth in Exhibit C. Colors outside of the palette in Exhibit C will be subject to review and approval of the Board or its appointed committee. Color selected cannot be the same as the lot adjoining or directly across the street.

Trim: Exterior trim shall be colored or painted white or off-white.

Front Doors: Exterior doors shall be white or off white to match existing homes. See section below for window, shutter and door styles.

Exterior Brick: Exterior brick to be red/ brown range similar to flashed brick used on site.

Roofing: Shingle roofs to be GAF Slateline Royal Slate. Standing seam metal roofs to be bronze or black.

Gutters and Downspouts: White, Off-white, uncoated copper or bronze/black to match roof.

Fencing: Black metal fencing or white for wood fencing.

Materials

Siding: Exterior siding shall be pre-finished or painted fiber-cement with smooth finish or wood. Siding lap to be 6" shiplap.

Roofing: Asphalt architectural style shingles to be GAF Slateline or Timberline Slate or comparable style and color, pre-finished standing seam metal roofs, copper, slate or slate designed composite.

Foundations: Exposed foundations walls to be concrete stucco parged or brick consistent with historic examples.

Shutters: Shutters shall not be permitted within the district.

Windows: Windows and sides shall closely resemble historic window styles and proportions and be compatible with existing structures in the district. Historic window fixtures in existing historic buildings shall be restored and preserved wherever possible. If full replacement is necessary, suitable replacement fixtures shall selected based on evidence from historic photographs and existing architectural evidence. Sashes to be true divided lites or simulated divided lites with solid spacers between muntins and shadow bars.

Window types shall be predominantly single or double hung at first and second floor levels. Six over six windows are preferred as the dominant window type for new buildings. Basement and accent windows can be casement or awning style. Window units to be wood or clad wood

6.F BARRACKS DISTRICT

frames and sashes. Fully round or half round windows shall be located in all gables facing Colter Avenue.

Exterior Doors: Entry doors to resemble historic styles as shown below. Door lights to be true divided lites or simulated divided lites with solid spacers between muntins. Door material to be painted wood, stained wood or painted/ pre-finished fiberglass. No metal exterior doors permitted. Full lite doors are permitted as an option and are subject to Board approval. Transoms and sidelines not required but encouraged. Sliding glass doors are not acceptable.

Trim: Exterior trim shall include rakes, fascias, soffits, columns, window/door casing and trim, porch rim boards, beam soffits, cornices, rakes, etc. Trim materials to be painted wood, wood composite, fiber-cement or molded millwork.

Roof overhang soffit/ porch soffit: Stained or painted tongue and groove wood/ composite wood and fiber-cement. Vinyl and aluminum soffits are not permitted.

Painted wood or fiberglass or molded millwork. Round column shafts to be plain tapered, non-fluted. Square columns to be non-tapered, plain, no flutes or panels. All column types must have base trim and capital with neck trim 7"-10" from bottom of capital. Profiles shall conform with historic profiles.

Railings: Railings on buildings facing the Parade Ground shall be wrought iron, iron or painted aluminum and shall be consistent in design with surviving examples appearing on the existing Barracks Buildings or with examples appearing in photographs of no longer extant Fort DuPont Barracks buildings. Wood ballusters and railings on buildings facing Old Battery Lane are to be consistent with the surviving examples appearing on these buildings.

Gutters: Half-round pre-finished aluminum, half-round copper or concealed gutters.

Downspout: Round/ round corrugated pre-finished aluminum or round copper

Chimneys: Chimneys shall be brick veneer over wood frame or solid masonry. Chimneys may only be located on the rear façades of new buildings. Chimneys must have at least one projected brick accent band and at least three corbel courses. Corbels need not be adjoining courses. Corbels may occur grouped as shown right, or individually. No flues visible from street level and should have a cement wash at top. Direct vent fire places shall be permitted in the Barracks District however no cantilevered direct vent fireplaces are permitted. Fireplace vents are permitted on rear and side facades only.

Fencing: Materials shall be aluminum, wrought iron, or wood/composite pickets. Fences, whether decorative or for security, shall not exceed 48" in height. Metal fence posts shall have round or spear finials or wood caps for wood fences. Wood fence posts to be minimum 4x4 with decorative spear-top or wood cap and be centered on the fence, both visible and unobstructed from both sides. Distance between fence posts not to exceed 6'. Fence diagrams as illustrated above show the relationship between the post and balusters and not intended to limit style or ornamentation. Typical fences of the era are very ornate. Though simpler designs will be acceptable, decorative and ornate fencing is encouraged.

6.F BARRACKS DISTRICT

Utilities: All utilities shall be buried. As feasible, any required above ground infrastructure shall be screened by fenced enclosures, contained within secondary structures, or designed and colored to be as compatible as possible with the historic character of the Barracks District.

Sidewalks: Concrete sidewalks should extend along Colter Avenue and Old Battery Lane. The primary entrance to all buildings shall be accessed from the street and sidewalk via concrete walks and steps as needed. Concrete sidewalks should be internally dyed to best resemble aged concrete with smooth finish and eased edges. Texture as needed for slip resistance.

Lighting: Street light, walkway and parking lot lighting should be limited to down cast lighting on poles not exceeding 18' in height. Street lighting shall be of a type similar to the existing pendant street lamp at the intersection of Colter Road and Sussex Avenue. All lighting fixtures should be downcast and of the cutoff/fully shielded variety. Building mounted downcast floodlights are permitted provided that they are fully shielded and mounted at a height of 12' or less. Upcast floodlights shall not target building walls or signage above the first floor level and 90% of their light must be directed at the target surface.

Garages, Driveways and Parking: New garages and driveways are not permitted. Paved parking areas featuring a single row of parking spots are permitted along the west side of Brady Lane, inclusive of carports that incorporate materials and design considerations provided for in this district. Parking lots are also permitted along the west side of Old Battery Lane to the south of Hall Road

Sheds: Sheds and secondary buildings are not permitted within the Barracks District.

6.G BATTERY ROW DISTRICT

6.G BATTERY ROW DISTRICT



Historically, the Battery Row District served the core of Fort DuPont's mission. The district contained gun batteries and mortar emplacements, Quartermaster's warehouses and other support structures that were critical to the fort's role in defending the Delaware River. The district also contained a small number of residences built to house non-commissioned officers.

It is anticipated that most of the development activity that will take place within the Battery Row District will focus on the preservation and restoration of the remains of historic fortifications and the rehabilitation and the adaptive reuse of historic buildings. However, provisions will be made for the limited construction of new buildings for residential and other purposes.

Character-defining features of this district include:

1. Existing buildings are located along Maple Avenue.
2. Open and shaded lots along Maple Avenue and densely wooded areas in the northern part of the district in areas which were formerly open and occupied by gun emplacements and supporting infrastructure
3. One and two story, frame buildings featuring narrow, internal brick chimneys and cross-gabled, front gabled and pyramidal asphalt shingled roofs.
4. Irregular placement and spacing of buildings along Maple Avenue.
5. Broken row of deciduous shade tree and sidewalk along north side of Maple Avenue.
6. Lack of fences or hedges dividing lots along Maple Avenue

6.G BATTERY ROW DISTRICT

Neighborhood design guidelines include:

1. Restore the exteriors of the surviving historic residences, guardhouse, and ordinance storehouse.
2. Replace missing or unhealthy street trees based on cultural landscape survey and plant palette.
3. New site features such as stairs and curbing should be simple straight forward design construction of durable and functional materials consistent with historic designs.
4. New buildings in this district as well as infill construction should complement historic patterns of development.
5. New construction should be compatible in scale, massing and design with the existing historic homes.
6. New construction should primarily be of wood, gable, hipped or pyramidal roofed structures and parallel or perpendicular to each other with punched windows. New construction should also try to incorporate detailing similar to existing historic homes in the district.
7. Architectural detailing should be simple and restrained.
8. Buildings should be set on earthen berms or brick piers if the building lots remain in the flood plain.
9. The scale and architectural character of new buildings in this district should relate to the functional character of the remaining historic buildings.
10. Consider the use of projecting eaves and other architectural details that draw inspiration from existing historic structures.
12. No buildings of greater than two stories in height should be constructed.
13. New buildings in this district as well as infill construction should complement historic patterns of development.

Color:

Exterior color options in the Battery Row District shall be as follows:

Siding: Exterior siding shall be selected from the colors set forth in Exhibit C. Colors outside of the palette in Exhibit C will be subject to review and approval of the Board or its appointed committee. Color selected cannot be the same as the lot adjoining or directly across the street.

Trim: Exterior trim shall be colored or painted white or off-white.

Front Doors: Exterior doors shall be white or off white to match existing homes. See section below for window, shutter and door styles.

Exterior Brick: Exterior brick to be red/ brown range similar to flashed brick used on site.

Roofing: Shingle roofs to be GAF Slateline Royal Slate. Standing seam metal roofs to be bronze or black.

6.G BATTERY ROW DISTRICT

Gutters and Downspouts: White, Off-white, uncoated copper or bronze/black to match roof.

Fencing: Black metal fencing or white for wood fencing.

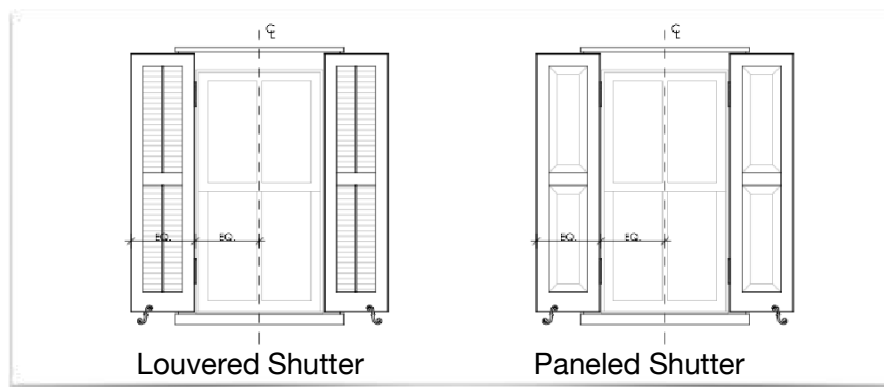
Materials:

Siding: Exterior siding shall be pre-finished or painted fiber-cement with smooth finish or wood. Siding lap to be 6" shiplap.

Roofing: Asphalt architectural style shingles to be GAF Slateline or Timberline Slate or comparable style and color, pre-finished standing seam metal roofs, copper, slate or slate designed composite.

Foundations: Exposed foundations walls to be concrete, stucco parged or dressed stone consistent with historic examples.

Shutters: Painted wood, painted composite lumber and approved vinyl. Shutter style to be paneled or louvered. Shutter may be operable or mounted as if to be operable with visible hinges, encouraged but not required. Shutter dogs optional but preferred. Width of each paired shutter shall be no less and no less than 50% the width of the window. When shutters are used, paneled shutters should be utilized on the first floor and louvered shutters should be utilized on the second floor.



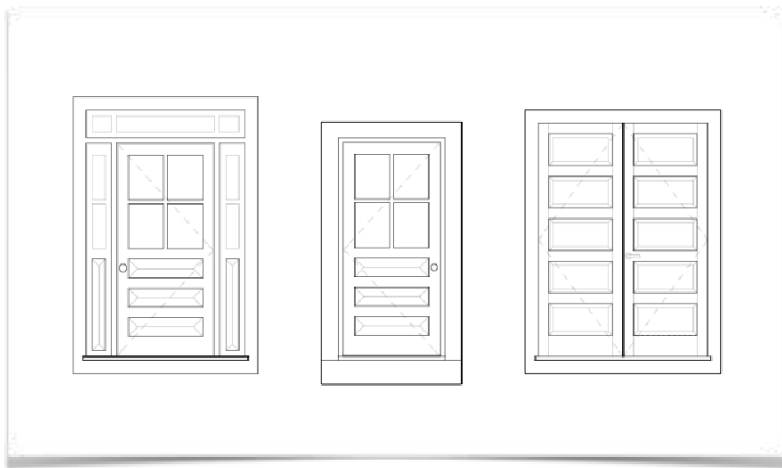
Shutter Types

Windows: Windows and sides shall closely resemble historic window styles and proportions compatible with existing structures in the district. Sashes to be true divided lites or simulated divided lites with solid spacers between muntins and shadow bars. Applied muntins with shadow bar would be acceptable.

6.G BATTERY ROW DISTRICT

Window types shall be predominantly single/ double hung at first and second floor levels. Basement and accent windows can be casement or awning style. Window units to be wood or clad wood frames and sashes.

Exterior Doors: Entry doors to resemble historic styles as shown below. Door lights to be true divided lites or simulated divided lites with solid spacers between muntins. Door material to be painted wood, stained wood or painted/ pre-finished fiberglass. No metal exterior doors permitted. Full lite doors are permitted as an option and are subject to Board approval. Sample elevation provided below. Transoms and sidelines not required but encouraged. Sliding glass doors are acceptable in the rear.



Door elevations in siding

Doors within siding shall have trim to be nominal 4" wide minimum at head and jambs. Provide solid matching trim below

Trim: Exterior trim shall include rakes, fascias, soffits, columns. window/ door casing and trim, porch rim boards, beam soffits, cornices, rakes, etc. Trim materials to be painted wood, wood composite, fiber-cement or molded millwork.

Roof overhang soffit/ porch soffit: Stained or painted tongue and groove wood/ composite wood and fiber-cement. Vinyl and aluminum soffits are not permitted.

Painted wood or fiberglass or molded millwork. Minimum 8" diameter round or 10" square. Round column shafts to be plain tapered, non-fluted. Square columns to be non-tapered, plain, no flutes or panels. All column types must have base trim and capital with neck trim 7"-10" from bottom of capital. Profiles shall conform with historic profile.

Railings: Straight or turned balusters, maximum spacing 4" on center. Rail and balusters to be painted wood, wood composite, molded millwork and aluminum. No vinyl rails permitted. Top and bottom rail to be minimum 4" high and 3" deep. Bottom rail to be minimum 2" high and 3 1/2" deep.

6.G BATTERY ROW DISTRICT

Gutters: Half-round pre-finished aluminum, half-round copper or concealed gutters.

Downspout: Round/ round corrugated pre-finished aluminum or round copper

Chimneys: Chimneys shall be brick veneer over wood frame or solid masonry. Fireplace and chimney shall be internal with no exposure until above the roofline. Chimneys shall display narrower proportions that are typically found throughout the remainder of the Fort DuPont Historic District. Chimneys must have at least one projected brick accent band and at least three corbel courses. Corbels need not be adjoining courses. Corbels may occur grouped as shown right, or individually. No flues visible from street level and should have a cement wash at top. Direct vent fire places shall be permitted in the Canal District however no cantilevered direct vent fireplaces are permitted. The fireplace must be flush with the exterior wall with the only permitted projection being the vent itself. Fireplace vents are permitted on rear and side facades only.

Fencing: Fencing utilized for residential properties shall enclose all or a portion of the rear (northern part) of the house lot. No fencing shall be permitted in front yards along Maple Avenue. Materials shall be aluminum, wrought iron, or wood/composite pickets. Fences, whether decorative or for security, shall not exceed 48" in height. Metal fence posts shall have round or spear finials or wood caps for wood fences. Wood fence posts to be minimum 4x4 with decorative spear-top or wood cap and be centered on the fence, both visible and unobstructed from both sides. Distance between fence posts not to exceed 6'. Fence diagrams as illustrated above show the relationship between the post and balusters and not intended to limit style or ornamentation. Typical fences of the era are very ornate. Though simpler designs will be acceptable, decorative and ornate fencing is encouraged.

Architectural Details:

The Battery Row District shall be detailed in conformance with the existing structures, similar but not limited to the following details for porches, eaves, rake trim, chimneys and gables.

Front or Rear Façade Porch/Sun room roofs: Porches and sunrooms shall have shallow hip roofs not exceeding 3 units in 12.

Main roof: Homes in the Battery Row District shall have roofs with a minimum of 8:12 pitch. Eaves on new residences to have crown molding similar to historic homes. Eaves to have 12" minimum overhang. Gable roof rake trim and crown shall overhang minimum 8", see details below. Fascias shall be crown molding to emulate existing historic homes in the district.

Gable vents: Gable end walls shall have gable vents or small windows.

Utilities: All utilities shall be buried. As feasible, any required above ground infrastructure shall be screened by fenced enclosures, contained within secondary structures, or designed and colored to be as compatible as possible with the historic character of the Battery Row District.

6.G BATTERY ROW DISTRICT

Sidewalks: Concrete sidewalks should extend along Maple Avenue. The primary entrance to all buildings shall be accessed from the street and sidewalk via concrete walks and steps as needed. Concrete sidewalks should be internally dyed to best resemble aged concrete with smooth finish and eased edges. Texture as needed for slip resistance.

Lighting: Street light, walkway and parking lot lighting should be limited to down cast lighting on poles not exceeding 18' in height. Street lighting shall be of a type similar to the existing pendant street lamp at the intersection of Coulter Road and Maple Avenue. All lighting fixtures should be downcast and of the cutoff/fully shielded variety. Building mounted downcast floodlights are permitted provided that they are fully shielded and mounted at a height of 12' or less. Upcast floodlights shall not target building walls or signage above the first floor level and 90% of their light must be directed at the target surface.

Garages, Driveways and Parking: New residential units may be accompanied by a two bay, single story detached garage. Detached garages are to be covered by a hipped or front gabled asphalt shingle roof. Driveways may be plain concrete slab or gravel. Asphalt, concrete block, brick or Belgian block paved driveways are not permitted.

Sheds: One shed per residence is permitted. Sheds shall be of no more than a single story in height and must conform to the same design details for new construction in the Battery Row District as laid out above. Sheds shall reflect the architectural detailing of the primary residence.

6.H Reeves Farm District

6.H REEVES FARM DISTRICT

The name of the Reeves Farm District commemorates an agricultural property owned by Clement Reeves that occupied this part of the Fort DuPont Historic District prior to its acquisition by the U.S. Government in the 1860's. Historically, the Reeves Farm was a support area occupied by stable buildings, workshops, storehouses, garages and other utilitarian structures. During the Second World War, buildings within the Reeves Farm District were constructed and repurposed as part of the effort to house and support 3,000 German prisoners of war which were interred at the Fort.

The Reeves Farm Historic District will be a location for mix-use, non-residential uses in rehabilitated historic buildings and new development. Potential uses include agricultural, light industrial, storage, maintenance and business and office space. Historic buildings will be sensitively rehabilitated for adaptive reuse but more flexibility will be provided with regard to the design of new construction to facilitate and attract a wide range of business and commercial uses. New construction will still need to be compatible with their historic environment in terms of massing, scale, materials, textures, color and overall design but less specific guidelines are offered with regard to architectural detailing.

Character-defining features of this district include:

1. Historic one and two story, frame and brick buildings interspersed with sporadic modern utilitarian buildings.
2. Irregular placement and spacing of surviving buildings due to the loss of considerable amounts of historic infrastructure.
3. Narrow shaded streets shaded by broken rows of deciduous trees
4. Lack of fences or hedges

Neighborhood design guidelines include:

1. Restore the exteriors of the surviving historic buildings.
2. Replace missing or unhealthy street trees based on cultural landscape survey and plant palette.
3. New site features such as stairs and curbing should be simple, straight forward and constructed of durable and functional materials consistent with historic designs.
4. New buildings in this district as well as infill construction should complement historic patterns of development.
5. New construction should be compatible in scale, massing and design with the existing historic buildings.

6.H Reeves Farm District

6. New construction should primarily be of wood or brick. Gable, hipped or pyramidal roofed structures are preferred: Flat roofs are prohibited.
7. Architectural detailing should be simple and restrained.
8. Buildings should be set on earthen berms or brick piers if the building lots remain in the flood plain.
9. The scale and architectural character of new buildings in this district should relate to the functional character of the remaining historic buildings.
10. New buildings in this district as well as infill construction should complement historic patterns of development.
11. No building of greater than 3 stories in height shall be constructed within the Reeves Farm District.
12. Trees and tall plantings should buffer views of the lower levels of new buildings and parking areas from within the Barracks District and the Battery Row District.
13. All buildings should be oriented towards a street and set back at least 25 feet from the curb.
14. Greenhouses are permitted within the Reeves Farm Historic District. Greenhouses shall stand on brick, brick veneered, stone or parged masonry foundations. No specific design guidelines are provided for greenhouse structures but solid wall wings or components for greenhouse buildings shall be subject to the overall design guidelines for the Reeves Farm Historic District.
15. Large and bulky hipped or end-gabled rooflines and roof planes should be avoided or should be broken up by projecting cross gables, dormers and other features. Primary roofs should be front-gabled, side-gabled, cross-gabled or hipped. Flat roofs are not permitted. Blank gables are also discouraged; all gables should contain some manner of fenestration. Appropriate window types are discussed below.

Color:

New buildings in the Reeves Farm District shall conform to the following color selections:

Trim: Exterior trim shall be white or off -white. Exterior trim shall include rakes, fascia, soffits, columns, window/ door casing and trim, porch rim boards, beam soffits, cornices, rakes, etc.

Siding: Exterior siding shall be selected from the colors set forth in Exhibit C. Colors outside of the palette in Exhibit C will be subject to review and approval of the Board or its appointed committee. Color selected cannot be the same as the lot adjoining or directly across the street.

Front Doors and Shutters: Exterior doors and shutters (if utilized: see below) shall be of a contrasting color to the brick or siding. Colors shall be dark paint or stain.

Exterior Brick: Exterior brick to be red/ brown range and can be either flashed or non-flashed.

6.H Reeves Farm District

Roofing: Shingle roofs to be GAF Slateline Slate or Timberline Slate or comparable style and color. Standing seam metal roofs are strongly encouraged and should be to be unfinished natural copper, black or terne metal.

Gutters and Downspouts: White, Off-white, dark bronze or unfinished natural copper.

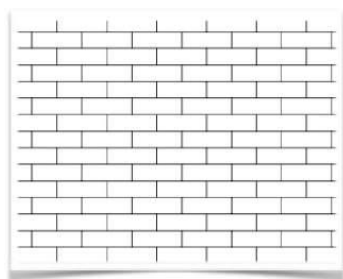
Fencing: Black for metal fencing, or white for wood fencing.

Materials:

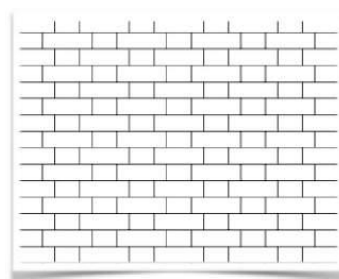
New buildings in the Reeves Farm District shall utilize either brick, wood or pre-finished or painted fiber-cement siding.

Exterior Brick: Bonding to be Running Bond, Common Bond, Common Flemish bond or English Cross bond.

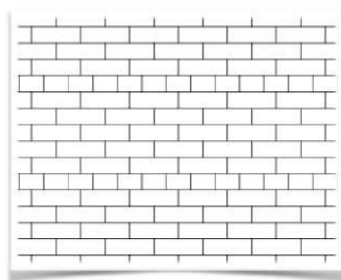
Brick selection examples



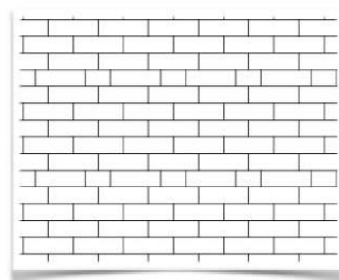
Running Bond



Flemish Bond



Common Bond



English Bond

Siding: Exterior siding shall be pre-finished or painted fiber-cement with smooth finish or wood. Siding lap to be 6" shiplap. Vinyl siding to be minimum of 0.46" thick. Wood shakes, wood shingles or an approved simulated facsimile may be utilized as sheathing within gables.

Roofing: Asphalt architectural style shingles to be GAF Slateline Slate or Timberline Slate or comparable style and color, pre-finished standing seam metal roofs, copper or terne metal.

Foundations: Exposed foundations walls must be veneered with brick, concrete stucco parged or dressed stone consistent with historic examples. Exposed concrete and masonry foundation

6.H Reeves Farm District

walls shall be parged below siding to grade. Where facades have brick veneer, the veneer shall extend to minimum 8" below finish grade as depicted in the brick water table detail above.

Shutters: Shutters are not permitted on new construction within the Reeves Farm District.

Windows: More flexibility with regard to window design is permitted within the Reeves Farm District than in other areas within the Fort DuPont Historic District. Where feasible, windows shall closely resemble historic window styles and proportions found elsewhere within the Fort DuPont Historic District on existing historic buildings or in photographs of no longer extant structures. Sashes are to be true divided lites or simulated divided lites with solid spacers between muntins and shadow bars. Applied muntins with shadow bar would be acceptable. Basement and accent windows can be casement or awning style. No windows shall be permitted that will extend more 75% of the distance from floor to ceiling on any level of a building nor will windows be permitted that exceed a full story in height (except for greenhouses).

Windows within siding shall have trim to be nominal 4" wide minimum at head and jambs with sloping sill. Sill profile to be minimum 1 1/2" tall. Acceptable trim materials are painted wood, wood composite, vinyl or fiber-cement. Windows in brick facades shall have brick jack arch or segmental arch heads. Window sills to be sloped cast stone, minimum 5" high. Cast stone to be wet cast, no dry tamped cast stone permitted.

Exterior Doors: Entry doors to residential buildings are to resemble historic styles as shown below. Door lights to be true divided lites or simulated divided lites with solid spacers between muntins. Flexibility is permitted with regard to exterior doors on mixed use, commercial or office buildings but they shall not be obtrusive or strongly incompatible with the character of the Fort DuPont Historic District and shall be subject to the review and approval of the board. Single lite glass doors, revolving doors and solid metal or wood doors without lites or panels are not acceptable on any street or public facing façade. Garage doors are not permitted on facades facing Wilmington Avenue or Sussex Avenue.

Doors within siding shall have trim to be nominal 4" wide minimum at head and jambs. Provide solid matching trim below. Doors in brick facades shall have brick jack arch or segmental arch heads. Door sills to be cast stone, minimum 7 3/4" high. Cast stone to be wet cast, no dry tamped cast stone permitted.

Trim: Exterior trim shall include rakes, fascias, soffits, columns, window/ door casing and trim, porch rim boards, beam soffits, cornices, rakes, etc. Trim materials to be painted wood, wood composite, fiber-cement or molded millwork.

Roof overhang soffits/porch soffits: Stained or painted tongue and groove wood/ composite wood and fiber-cement. Vinyl and aluminum soffits are not permitted.

Painted wood or fiberglass or molded millwork. Minimum 8" diameter round or 10" square. Round column shafts to be plain tapered, non-fluted. Square columns to be non-tapered, plain, no flutes or panels. All column types must have base trim and capital with neck trim 7"-10" from bottom of capital. Profiles shall conform with historic profiles.

Railings: Straight or turned balusters, maximum spacing 4” on center. Rail and balusters to be painted wood or wood composite. No vinyl rails permitted. Top and bottom rail to be minimum 4” high and 3” deep. Bottom rail to be minimum 2” high and 3 1/2” deep. Two inch diameter pipe rail is permitted so long as it reflects the original pipe rail design.

Gutters: Half-round pre-finished aluminum, half-round copper or concealed gutters.

Downspout: Round/ round corrugated pre-finished aluminum or round copper

Fencing: Materials shall be aluminum, wrought iron, or wood/composite pickets. Fences, whether decorative or for security, shall not exceed 6’ in height. Metal fence posts shall have round or spear finials or wood caps for wood fences. Wood fence posts to be minimum 4x4 with decorative spear-top or wood cap and be centered on the fence, both visible and unobstructed from both sides. Distance between fence posts not to exceed 6’. Fence diagrams as illustrated above show the relationship between the post and balusters and not intended to limit style or ornamentation. Chain link fencing and solid panel fencing is permitted within the district. Wooden rail fencing is also permitted.

Signage: Commercial and office buildings may have freestanding, flush mounted, window or awning signs. The size of flush mounted, window and awning signs should be commensurate and proportional to the size of the building to which it applies. No neon or internally lighted signs are permitted. Sign lighting should be indirect from above or below and should not light an excessive area beyond the limits of the sign. All street and wayfinding signage should be consistent with types historically in use throughout the Fort DuPont Historic District.

Sidewalks: Concrete sidewalks should extend along all public street frontages. The primary entrance to all buildings shall be accessed from the street and sidewalk via concrete walks and steps as needed. Texture as needed for slip resistance.

Lighting: Street light, walkway and parking lot lighting should be limited to down cast lighting on poles not exceeding 20’ in height. All lighting fixtures should be downcast and of the cutoff/fully shielded variety. Building mounted downcast floodlights are permitted provided that they are fully shielded and mounted at a height of 20’ or less. Upcast floodlights shall not target building walls or signage above the first floor level and 90% of their light must be directed at the target surface.

Other Structures: Vehicle parking or boat storage structures are permitted within the Reeves Farm Historic District and must be appropriately screened with landscaping and fencing approved by the Board or its appointed committee.

7. REVIEW PROCEDURES

The Declaration of Covenants, Conditions, Agreements, Restrictions and Licenses (the “Declaration” of the Fort DuPont Redevelopment and Preservation Corporation (the “Corporation”) requires the Fort DuPont Design and Historical Preservation DHP Committee (the “DHP Committee”) to receive, review and rule upon all design, development and other architectural type requests with respect to any lot within the Fort DuPont Complex in order to determine whether the proposed action is consistent with the applicable DHP Guidelines and Development Regulations for the application lot(s).¹ The Board of the Corporation has also provided the DHP Committee the responsibility to perform subdivision review, construction review, and design reviews for historical properties and other development. Moreover, the DHP Committee also is responsible for enforcing certain historic preservation standards and certain rules and regulations adopted for the Complex.

In accordance with the By-Laws of the Corporation, the Board of Directors of the Corporation (the “Board”) has designated the DHP Committee to act as both an advisory committee and implementation committee having both advisory and decision-making authority as set forth herein or as may otherwise be determined by the Board from time to time.

With respect to the following actions, the DHP Committee shall have advisory authority and powers only and shall not be permitted to make any final decisions or otherwise bind the Board or the Corporation with respect to such matters (collectively, “Advisory Actions”):

- (1) Developing plans to implement recommendations from the redevelopment plan and tracking ongoing implementation efforts;
- (2) Reviewing and providing recommendations on proposals for the purchase, sale, lease or disposition of lands or buildings;
- (3) Providing guidance on updates to the redevelopment plan upon request by the Board or the executive director;
- (4) Providing recommendations on infrastructure improvement plans, budgets, or any other matters referred by the Board or the executive director;
- (5) Recommending rules, regulations and policies to the Board.
- (6) The development and institution of any guidelines, standards and other protocols relating to the design, architectural appearance and historic character of the Fort DuPont Complex (“Guideline Development”);
- (7) Providing recommendations on subdivision applications and subdivision proposals; and
- (8) Providing recommendations on enforcement of applicable Corporation rules and regulations when necessary.

With respect to the following actions, the DHP Committee shall have implementation authority and powers and shall be permitted to make any final decisions and otherwise bind the Board or the Corporation with respect to such matters (collectively, “Implementation Actions”):

¹ Capitalized terms not otherwise defined herein shall have the meaning assigned to them in the Declaration.

- (1) At the Board’s direction, implementing decisions made by the Board with respect to any item over which the DHP Committee has advisory authority (a “Board Directive”);
- (2) Reviewing, commenting on and ruling upon proposals, requests or applications for the development or redevelopment of any lot(s), common areas, subdivision amenities or similar land use areas within the Fort DuPont Complex including, but not limited to, historic structures, historic properties, land development proposals, and site plan review (collectively, a “Development Request”) and the enforcement of any decisions made by the DHP Committee with respect thereto; and
- (3) The review and ruling upon any proposal to change or modify, in a fashion, the exterior of any lot or improvement thereon following the initial development of same to (collectively, a “Post Development Request”) and the enforcement of any decision made by the DHP Committee with respect thereto.

DHP Committee Members and Appointment

The DHP Committee shall be comprised of seven (7) members, each of which shall be appointed by the Board. As provided for in the By-Laws of the Corporation, at least one member of the DHP Committee must be a member of the Board. In making other appointments of members to the DHP Committee, the Board shall consider whether the DHP Committee may benefit from individualized, specialized or other relevant expertise or experience in a given area and, if so determined, the Board shall make appointments fulfilling such need.

Each member appointed to the DHP Committee shall serve for a term of one (1) year, subject to reappointment; provided, however, that members serve at the pleasure of the Board and may be removed at any time. The Board may, in its sole discretion, elect to increase the number of members of the DHP Committee at any time.

Meetings

1. Governing Rules

The procedure, the conduct, and the order of business shall be conducted according to the following rules, except as may otherwise be provided in the Bylaws of the Corporation. To the extent such rules do not provide adequate guidance, and only to that extent, the most recent edition of Robert’s Rules of Order shall govern.

A. Chair and Duties

The Board member appointed to the DHP Committee shall serve as chair (“Chair”). In the event that more than one Board member is appointed to the DHP, the Board shall designate which member shall act as Chair upon appointment. The Chair shall designate a vice-chair (“Vice Chair”) which shall preside as Chair at all meetings of the DHP Committee. In the absence of the Chair, the Vice Chair shall preside. In the absence of both the Chair and Vice Chair, an alternate

member appointed by the Chair prior to the meeting shall preside. The presiding person shall be the "Chair" of the meeting.

The meetings of the DHP Committee shall be called to order by the Chair. The Chair shall preserve order and decorum, prevent attacks on personalities or character of members or the public, and confine members in debate to the question under discussion.

The Chair shall determine all points of order, subject to the right of any member to appeal to the Board. If any appeal is taken, the question shall be "Shall the decision of the Chair be sustained?"

The Chair shall state all questions submitted for a vote and announce the result.

The Chair may move, second and debate, subject only to such limitations of debate as are by these rules imposed on all members, and shall not be deprived of any of the rights and privileges of a member of the DHP Committee by reason of acting as the Chair.

B. Order of Business

All regular and special meetings of the DHP Committee shall be open to the public. Promptly at the hour set for each meeting, the business of the DHP Committee shall be taken up for consideration and disposition in the order set forth on the agenda, subject to the Chair's prerogative to adjust the order of the agenda items as he or she deems appropriate.

C. Roll Call

Before proceeding with the business of the DHP Committee, the Chair or his/her designee shall call the roll of the members, and the names of those present shall be entered in the minutes.

D. Reading of the Minutes

Unless a reading of the minutes of a DHP Committee meeting is requested by a majority of the DHP Committee, such minutes may be approved without reading, and the yeas and nays shall be entered on the minutes. Upon the call of the roll, no member shall discuss or explain his/her vote; and the silence of any DHP Committee member who is present shall be recorded as an affirmative vote unless he/she states directly that he/she abstains.

E. Unfinished Business

In order to revisit old business, discussion of such business must have begun at the previous DHP Committee meeting and been the subject of an accepted motion to postpone to a future meeting. If an item is removed from an agenda, either prior to or during a previous meeting, before discussion has begun, it will then be placed on a future agenda under the heading it would be assigned to under normal circumstances.

F. Rules of Debate

When a question is presented and seconded, it is under consideration, and no motion shall be received thereafter, except to adjourn, to lay on the table, to postpone or to amend, until the question is decided. These motions shall have preference in the order as determined by the Chair.

The Chair may move, second and debate from the Chair, subject only to such limitations of debate as are by these rules imposed upon all members, and shall not be deprived of any of the rights and privileges of a DHP Committee member by reason of being the presiding officer.

Every member desiring to speak for any purpose whatsoever shall address the Chair and, upon recognition, shall confine himself/herself to the question under debate, avoiding all personalities and indecorous language. A member may generally only speak once on the same subject but may speak to clear up a matter of fact or explain a material part of his/her speech, except that a member after moving a question may once again speak on the same subject.

A member once recognized shall not be interrupted when speaking unless it be to call him/her to order or as herein otherwise provided. If a member while speaking is called to order, (s)he shall cease speaking until the question of order is determined by the Chair, and if in order, (s)he shall be permitted to proceed. Any member may appeal to the Board from the decision of the Chair upon a question of order, when without debate the Chair shall submit to the Board the question, "Shall the decision of the Chair be sustained?" and the Board shall decide by a majority vote.

G. Addressing the Board

Subject to the provisions of Article K below (Adjournment), any person may petition the Chair for leave to address the Board, which permission shall be granted only after a showing to the satisfaction of the Chair that the subject matter of the address deserves the time and attention of the Board, by oral communication on any matter over which the DHP Committee has on the agenda; provided, however, that notice is given to the Executive Director of the Corporation 24 business hours in advance of the next regularly scheduled Board meeting. Nothing herein shall prevent the Chair from allowing public comment, at the Chair's discretion.

H. Manner of Addressing DHP Committee; Time Limit

Each member of the public addressing the DHP Committee shall step up to the microphone (should one be available), shall give his/her name and address in an audible tone of voice for the records, state his or her address within the Complex and shall limit the address to 3 minutes unless a longer time is permitted by the Chair. All remarks shall be addressed to the DHP Committee as a body and not to any person thereof. No person, other than members of the DHP Committee and the person having the floor shall be permitted to enter into any discussion, either directly or through a member of the DHP Committee, without the permission of the Chair.

I. Decorum

While the DHP Committee is in session, the members must preserve order and decorum, and a member shall neither by conversation or otherwise except as herein provided delay or interrupt the proceedings, the peace of the DHP Committee, disturb any member while speaking or refuse to obey the orders of the DHP Committee or its Chair.

Any person making impertinent or slanderous remarks or who shall become boisterous shall forthwith be barred from further audience before the DHP Committee, by the Chair, unless permission to continue or again address the DHP Committee is granted by the majority vote of the Board.

J. Reports and Resolutions to be Filed with Board.

All reports and resolutions shall be filed with the Executive Director of the Corporation and entered in the minutes of the DHP Committee. The DHP Committee Chair or his or her designee shall be required to present the minutes of the DHP Committee at any meeting of the Board as the Board may request or direct.

K. Adjournment

A motion to adjourn shall always be in order and decided without debate.

L. Cancellation of Meeting

Cancellation of any meeting shall be at the discretion of the Chair or, in the case of a special meeting that has been called by members of DHP Committee, at the discretion of those members of the DHP Committee, as circumstances may require. As much notice of said cancellation as is practical shall be given through the office of the Executive Director in the manner and place(s) which notice of said meeting was originally posted.

2. Time and Location of Meetings

A. Meeting Times and Location

The DHP Committee shall meet at least one (1) time each month year. The DHP Committee shall meet on the **1** day of the first month of the month at a time and place to be determined by the DHP Committee at least **1** days in advance of the meeting. However, nothing in here shall require the DHP Committee to conduct a meeting in order to consider a Post Development Request application presented to the DHP Committee for review and approval.

B. Notice and Publication of Meeting Times and Locations

The Chair of the DHP Committee shall notify the Executive Director of the Corporation at least 7 days in advance of any regularly scheduled meeting of the DHP Committee, of 1 days prior

to any special meeting of the DHP Committee, of the time and place of the meeting and shall provide the Executive Director with the agenda for the DHP Committee meeting. The Executive Director shall be required to publish notice of the DHP Committee Meeting in the same manner and locations as required for a meeting of the Board. In the event that a meeting is scheduled by the DHP Committee in order to hear an appeal, the Executive Director shall be required to provide notice of such meeting to the appellant by email notification, to the extent available, and by hard copy to the address of record provided by applicant on its application.

The DHP Committee Implementation Process

Items presented to the DHP Committee that fall within its authority will generally be divided into three (4) categories: (1) Board Directives; (2) Development Requests; (3) Guideline Development; and (4) Post-Development Requests.

A. Board Directives

In the case of a Board Directive, the DHP Committee shall determine a procedure and process for implementing such Board Directive on a case by case basis as necessitated by the nature of the directive.

B. Development Request

In the case of a Development Request, the DHP Committee shall determine a procedure and process for considering such request on a case by case basis as necessitated by the nature of the development proposed; provided, however, that the DHP Committee shall be required to act within any applicable timeframes for action as may be established by federal, state or local government or other authority.

C. Guideline Development

The DHP Committee shall develop all DHP Guidelines and, once created and approved by the Board, shall review the same on a continuing basis to determine whether modifications, additions or other changes are required. The DHP Committee is also charged with making sure that current and up-to-date DHP Guidelines or other bulletins relating to design and historic preservation items are available to the Executive Director for distribution to lot owners and other applicable parties.

D. Post-Development Request

The DHP Committee shall follow the process and procedures set forth below with respect to a Post-Development Request:

1. The owner submits to the DHP Committee, in care of the Executive Director of the Corporation ("Executive Director"), an Application for Design Review along with all requested documentation.

2. The application, noted with the date of receipt by the Executive Director, is turned over to the DHP Committee, provided that all of the information necessary for review is received. The Executive Director will then make a precursory review of the application and request any additional information from the owner if needed. The DHP Committee may still require additional information as detailed in 4.d. below. The 45-day review period discussed in 3 below will not begin until the application is complete and appropriate for review.

3. The DHP Committee will act within forty-five (45) calendar days upon receiving the complete application.

4. The DHP Committee's decision will be noted on the application. The owner will then be notified of the decision via email, if acceptable to applicant, and by hard copy. The application will show one of the following four (4) decisions.

- a. **APPROVAL:** The application is approved as submitted.
- b. **APPROVAL WITH CONDITIONS:** The overall proposal is accepted, but with certain specified changes, limitations or requirements that must be followed.
- c. **DISAPPROVAL:** The application is denied. The owner can appeal to the DHP Committee within 15 business days. Further escalation may require the involvement of the Board of Directors (See the Appeal Procedure section for more details.)
- d. **ADDITIONAL INFORMATION REQUIRED:** The DHP Committee has determined that additional information is needed for appropriate review of the application. In this case, the entire process begins again once the Executive Director receives the requested information. The owner should follow the same submission procedure as before. The DHP Committee will act swiftly on all re-submissions.
- e. The DHP Committee evaluates each application on the individual merits of the application, the Design Regulations and DHP Guidelines. Many design changes and improvements require a permit, and the DHP Committee's review and/or approval of an application is not a substitute for approval by the city and/or county. It is the homeowner's responsibility to acquire appropriate approvals, permits, etc. from the city and/or county. The proposed change must be fully compliant with the Development Requirements and the DHP Guidelines and, where applicable, any historical restrictions placed on the structure and/or lot and compatible with the design characteristics of the applicant's home and the general neighborhood setting.

5. If an application is approved, the applicant will be required to place a clean-up and repair deposit, in amount to be determined by the DHP Committee based upon the nature and scope of work to be performed by or on behalf of applicant, which will be held by the Corporation until all work is complete and a representative of the DHP Committee has inspected the property and authorized the release of such deposit. The deposit may range between \$500 and \$1,000 and is intended to provide the Corporation with funds necessary to repair and/or provide for the clean-up necessary to any area adversely impacted by the applicant's work in the event not remediated by the applicant itself.

6. Once work has begun on an approved application, it must be completed within 90 days unless the nature of the work proposed cannot be reasonably completed within 90 days. Applications are valid for one (1) year from the date of approval. Upon completion of the work, applicant shall notify the DHP Committee at which time the DHP Committee will review and inspect the work and the property in order to determine whether the clean-up and repair deposit may be released and returned to applicant.

Appeal Procedure for Development and Post-Development Decisions

An applicant or other aggrieved person affected by the decision may appeal a DHP Committee decision to the Board who may reverse, affirm, or modify such decision by a majority vote of the total membership of its Board. The Board's decision shall be final and unappealable.

If the applicant or any other person affected by the decision disagrees with the decision of the DHP Committee in its review or inspection, an appeal may be submitted as noted below.

1. A decision of the DHP Committee that approves or denies an application shall not be considered a final decision by the Declarant until after the appeal period expires without objection or appeal.
2. Within 15 business days after the receipt of a notice of decision, the aggrieved party must file a written appeal with the DHP Committee in care of the Executive Director.
3. Upon receipt of the appeal, the DHP Committee may contact the aggrieved party and schedule a review of any further information relating to the request and appeal.
4. Should the DHP Committee determine that the decision remains, the aggrieved party may request that the appeal be forwarded to the Board. This request must be made within 7 days of the supplemental decision. It is the responsibility of the DHP Committee to forward any correspondence and pertinent information to the Board at that time.
5. The Board shall then establish the date and the time that the appeal will be heard. If an appeal is received by the Executive Director no later than the last business day in a calendar month, the appeal shall be heard at the next regularly scheduled meeting of the Corporation unless otherwise agreed to by the Corporation and applicant. If an appeal is received after the last business day of a calendar month, the appeal shall be heard at the second regularly scheduled meeting of the Corporation following receipt of the appeal unless otherwise agreed to by Corporation and applicant.
6. A majority vote of the total numbers of members of the Board is required to reverse a DHP Committee decision.
7. No work may progress during the appeal process.

Violations and Penalties

In addition to a rule violation, any change made without the required approval of the DHP Committee constitutes a violation of the Declaration. A violation may require removal or modification of the work at the expense of the property owner.

When a violation is determined to have occurred, the following steps shall be taken.

1. The DHP Committee will investigate any reported violation and attempt to bring the owner into compliance. Homeowners will be notified in writing of the violation and are expected to bring the violation into compliance within a reasonable amount of time. The amount of time given to the homeowner will be based on the alleged violation.

2. Should the owner fail to act upon the recommendations for corrections, the DHP Committee shall submit the matter to the Board.

3. The homeowner shall be invited to a hearing with the Board where the homeowner will have the opportunity to be heard and present evidence. Failure to appear shall result in a fine that will begin to accrue on the day after the scheduled hearing date. If the violation is brought back into compliance prior to the hearing, no hearing is necessary. In this case, the owner and the executive director (or his or her designee) must both agree as to compliance. If the issue is verified, no further action is required. If compliance cannot be verified, the parties proceed with the hearing.

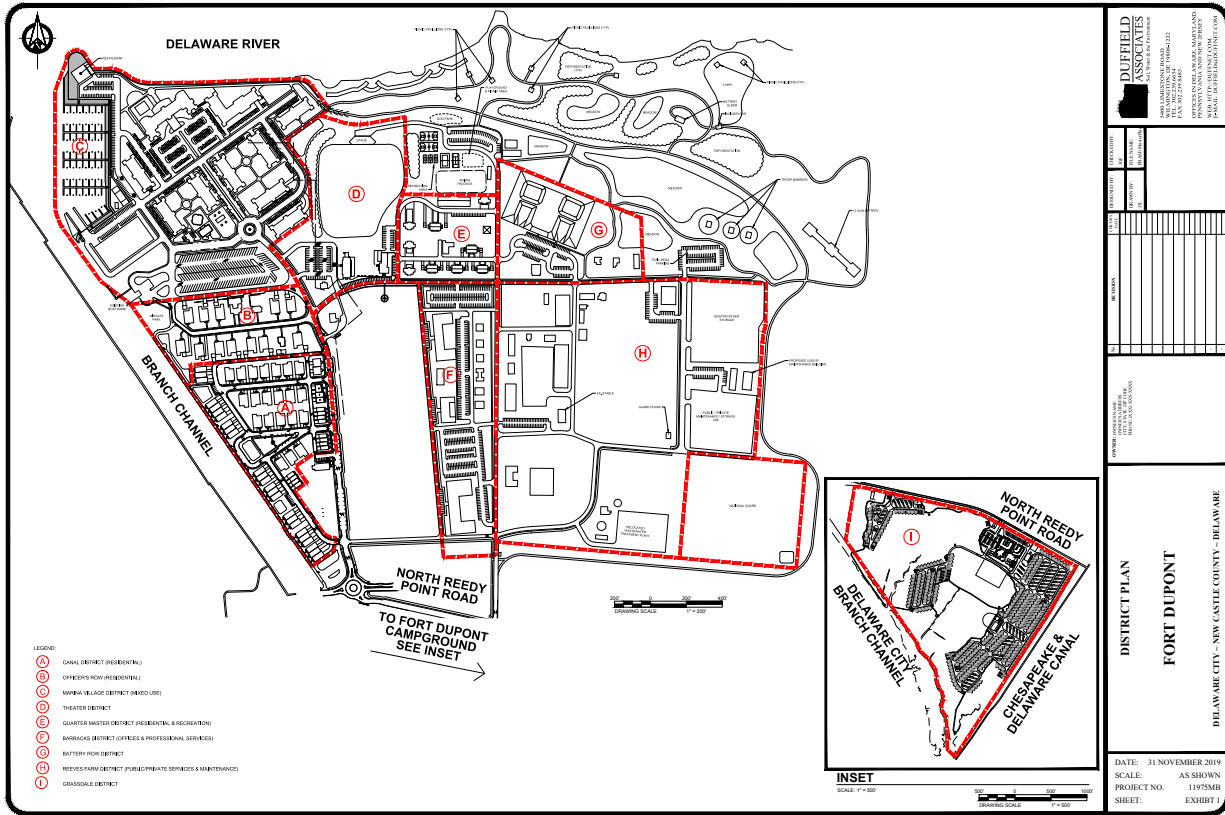
4. After the hearing, the Board will respond to the homeowner with a decision in writing within five (5) days after the Board meets to hear the appeal. Any penalties, fines or fees relating to the violation the homeowner is responsible for will be noted in the letter from the Board. The letter will include the date the accrual of fines will begin.

- **Fines:** Fines will be levied per day, per violation, until the violation is rectified.
- **Fees:** A violation may also result in the payment of costs or damages incurred by the Corporation in having the work removed or modified, in addition to the fine assessed by the Corporation. Attorneys' fees, court costs and site assessments will all be incorporated into the fine process.

Amendment

These DHP Committee rules and procedures may be altered, changed, or repealed at any time by the Corporation Board. The DHP Committee shall be permitted to recommend changes to the Board if such changes are desired by a majority of the DHP Committee.

EXHIBIT A – MAP OF DEVELOPMENT DISTRICTS



8. Exhibit B - Dimensional Requirements

EXHIBIT B - DISTRICT DIMENSIONAL REQUIREMENTS

HPR Dimensional Requirements	Area	Frontage	Front Setback	Rear Primary	Rear Accessory	One Side	Both Sides	Min Sf/Family	Max Lot Coverage By Building	Max Height (Stories/Ft)
District									%	
Canal District										
One-family, Detached	6000	60	20	20	5	5	15	6000	50	2.5/45
One-family Attached*	1760	22	10	20	5	5	10	1760	60	3/45
Officers Row										
One-family, Detached	7500	75	20	20	5	15	30	6000	35	3/45
One-family Attached*	7500	75	20	20	5	15	30	3000	40	3/45
Marina Village										
Multifamily & Commercial Mixed Use	5000	50	5	5	n/a	5	n/a	n/a	n/a	5/65
Theater District										
Commercial	5000	35	10	20	n/a	5	n/a	n/a	n/a	3/45
Quartermaster Place District										
Two-family Attached*										
Multifamily and Commercial Mixed Use										
Barracks District										
Multifamily and Commercial Mixed Use	5000	50	10	20	n/a	n/a	n/a	n/a	n/a	3/45
Battery Row										
One-family, Detached	6000	60	20	20	5	5	15	6000	50	2.5/45
Two-family Attached*	4000	30	20	20	5	15	30	2000	60	3/45
Commercial	5000	35	10	20	n/a	5	n/a	n/a	n/a	3/45
Reeves Farm District										
One-family, Detached	6000	60	20	20	5	5	15	6000	50	2.5/45
Two-family, Attached*	4000	30	20	20	5	15	30	2000	60	3/45
Multifamily and Commercial Mixed Use	5000	50	10	20	n/a	n/a	n/a	n/a	n/a	3/45
Footnotes:										

*For "Attached" dwellings, the interior buildings shall have a zero (0) setback.

8. Exhibit B - Dimensional Requirements